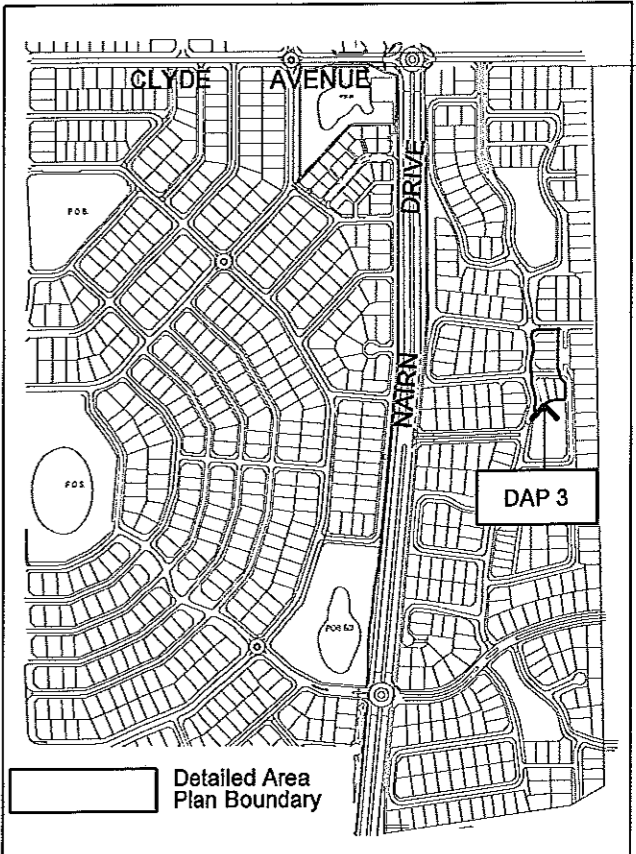
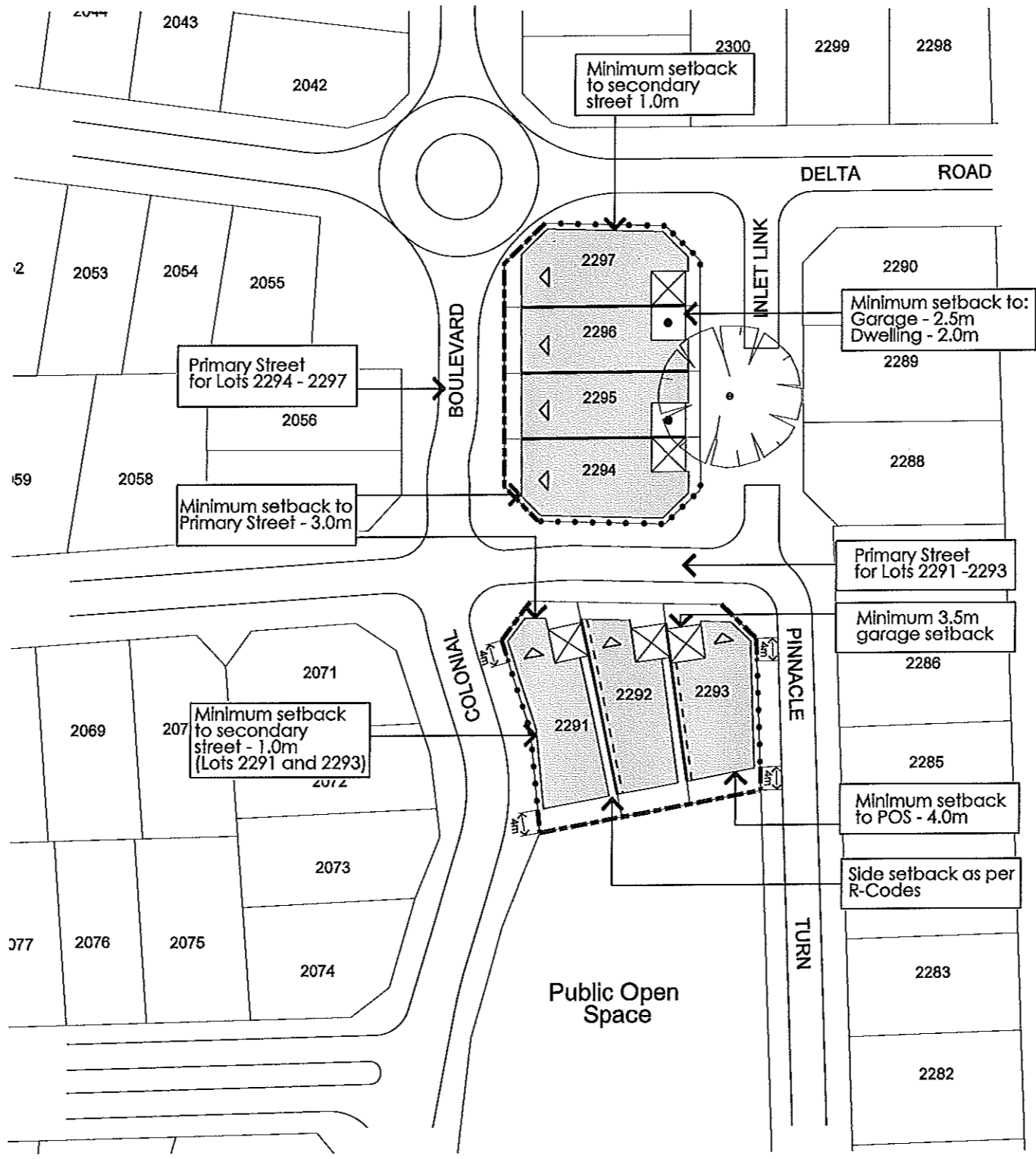
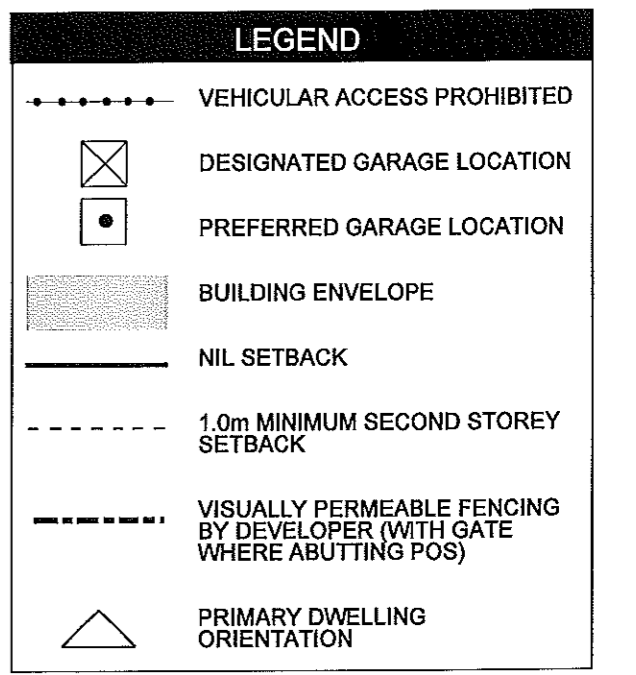


DETAILED AREA PLAN (DAP) REQUIREMENTS

- R-CODING**
- A Residential Density Coding of R20 applies to all lots contained within this DAP.
- SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS**
- The Town Planning Scheme and R-Codes are varied in the following manner:
- DESIGN ELEMENT**
- All dwellings and ancillary development must be located within the building envelopes as depicted in the DAP.
 - The dwelling must address the Primary Street where applicable through design, materials and major opening(s).
 - Primary pedestrian access must be provided from the primary street.
- SETBACKS**
- The primary street setback shall be a minimum of 3.0m. No average setback distance is required.
 - The second storey of a dwelling must be setback a minimum 1.0m from the identified side boundary where shown on the DAP.
 - The minimum setback to the secondary street, and truncation shall be 1m for lots 2291, 2293, 2294 and 2297.
 - Lots 2291 to 2293 shall have a minimum setback of 4m from the lot boundary which abuts the Public Open Space.
 - Lots 2294 - 2297 shall have a minimum dwelling setback of 2m to the rear boundary.
 - A nil side setback is permissible for lots 2294 - 2297 where walls are not higher than 3.5m with an average of 3.0m for two-thirds the length of the boundary behind the front setback, to two boundaries.
- GARAGES**
- Garage setbacks for lots 2294 - 2297 shall be a minimum 2.5m and garage setbacks for lots 2291 to 2293 shall be a minimum of 3.5m. Garages are encouraged to be setback behind the main dwelling line to reduce the dominance to the front elevation.
 - With the exception of lots which specify a designated garage location, an alternative garage location to that shown on the plan may be approved by the Manager, Building Services, subject to the design meeting solar orientation principles and statutory requirements.
- OPEN SPACE REQUIREMENTS**
- A minimum provision of 45% open space on the subject lot is to be provided.
- PASSIVE SURVEILLANCE**
- All dwellings abutting public open space shall be suitably designed and orientated to ensure passive surveillance. Dwellings shall have one or more major openings to a habitable room (outdoor living areas are encouraged) facing the public open space.
- FENCING**
- Fencing on boundaries facing public open space is to be provided by the developer. The fencing cannot be modified with the exception of maintenance and repair using materials that are substantially identical with those used in the original construction.
- STORAGE AREA**
- An enclosed lockable storage area under the main roof to be provided and, constructed in a design and material matching the dwelling where visible from the street and accessible from outside the dwelling, with a minimum dimension of 1.5m with an internal area of at least 4m².
- ADVICE NOTE**
- Retaining Walls*
- Dwellings are generally to be setback 1m from retaining walls for single storey dwellings and 1.5m for double storey dwellings. Certification for load bearing walls must be obtained from an independent practicing Structural Engineer in relation to final dwelling proximity to the relating wall.
 - Construction including load bearing walls on a nil setback must comply with the engineering requirements associated with any retaining walls present.



LOCALITY PLAN



This Detailed Area Plan has been approved by the Manager Statutory Planning

[Signature] 9/3/09
 Manager Statutory Planning Date

Detailed Area Plan - Number 3 (Lots 2291-2297)
 Settlers Hill Estate
 Precinct J

CLIENT Stockland	DATE 03/03/2009
PLAN NUMBER 68/049/165M	SCALE 1:1000 @ A3
DESIGNED BY LH	CHECKED BY BDM
	DRAWN BY MQ

5m 0 5 10 15 20 25m
 ALL AREAS A 0.5M DIMENSION DEPICTED ARE SUBJECT TO FINAL SURVEY.

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