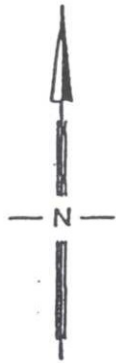


DETAILED AREA PLAN LOTS 901 - 907 OF COCKBURN SOUND LOC.16 AND PEEL ESTATE LOT 1094 ON PLAN 20329, SECRET HARBOUR

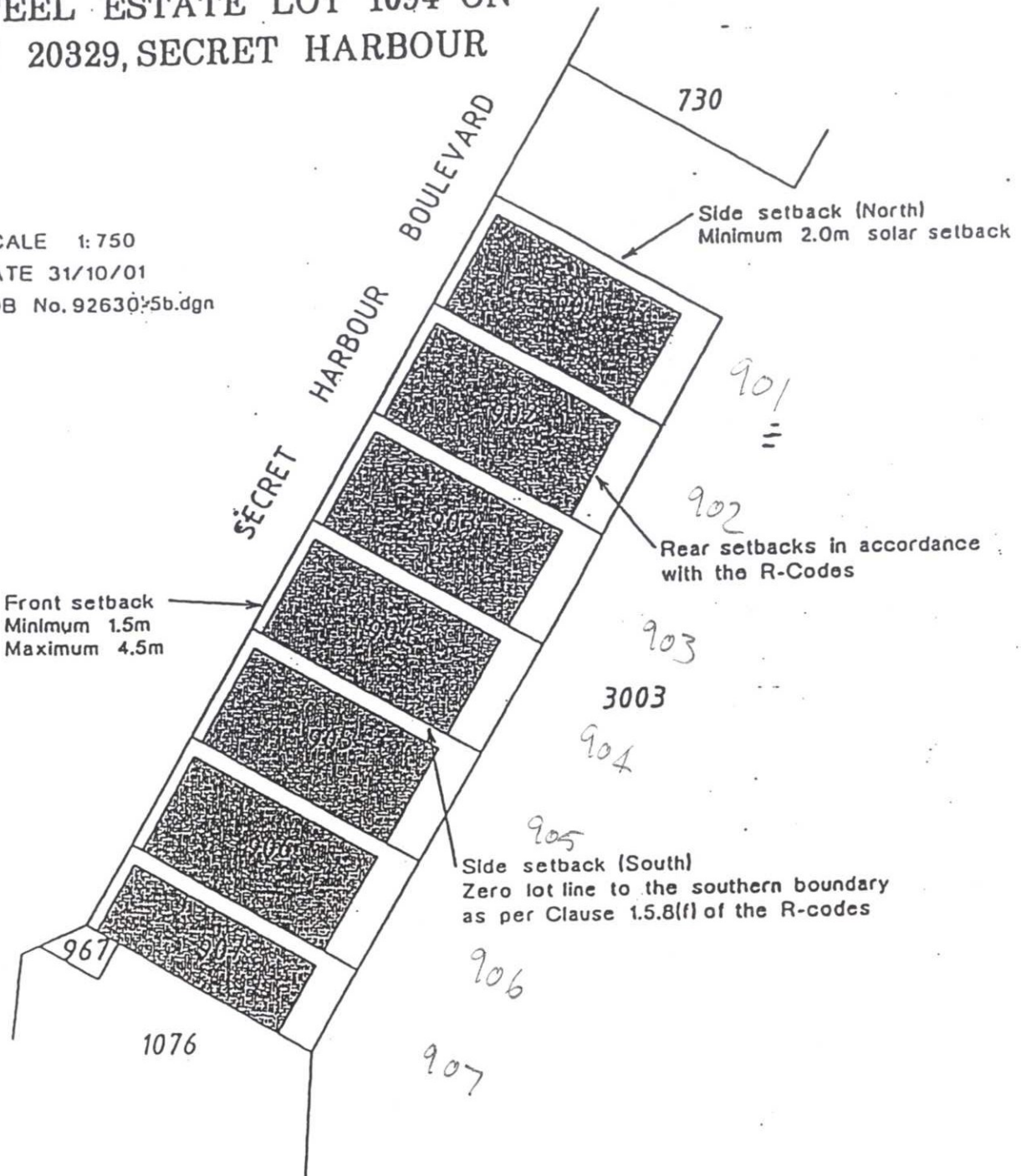


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SCALE 1:750
 DATE 31/10/01
 JOB No. 92630-Sb.dgn



Maximum 70%
 site cover for
 single storey dwellings
 Maximum 60%
 site cover for
 two storey dwellings

SINGLE HOUSES IN DESIGN GUIDELINE AREAS

Objectives

To ensure that dwellings located within the Design Guideline Areas are constructed to a high standard; contribute positively to the streetscape by creating a vibrant, balanced streetscape using innovative and attractive design and promote a variety of housing styles to suit current and future living requirements.

CONSIDERATIONS

- General Provisions
- Site Cover
- Setbacks
- Solar Orientation (incl location of private open space)
- Fencing
- Services

PROVISIONS

These guidelines apply to the following Design Guideline Areas for those locations identified on the Detailed Area Plans attached.

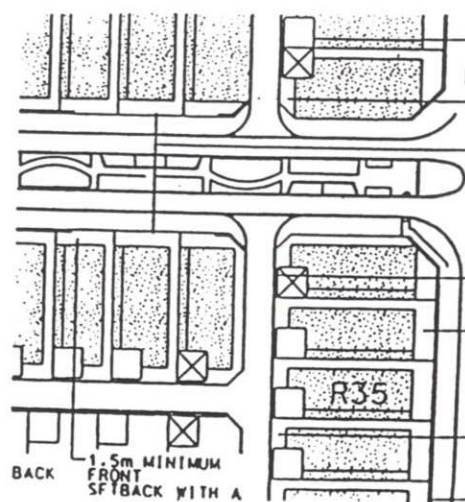
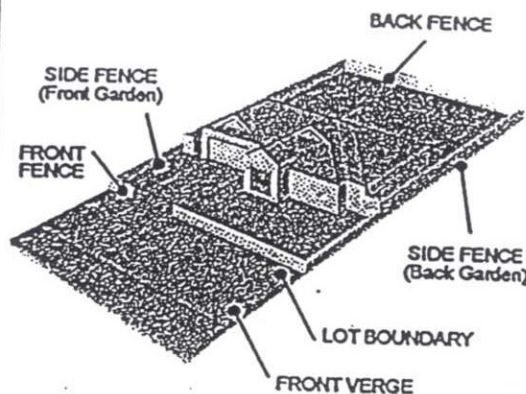
- The Anchorage Estate
- Lakeside Mews, Secret Harbour
- Willow Lake, St Michel
- Lot 729 Secret Harbour Boulevard, Secret Harbour
- Parkside (South) Precinct, Palm Beach Estate, Rockingham

General Provisions

- Dwellings shall address the primary street and enhance the existing streetscape.
- Site planning and building design should aim to provide visual and noise privacy between the development and its neighbours.
- Lots with direct access to laneways shall comply with the 'Laneway Access' section of this Policy.

Site Cover

- Single storey dwellings (lots under 500m²) - max 70% site cover.
- Two storey dwellings (lots under 500m²) - max 60% site cover.



SINGLE HOUSES IN DESIGN GUIDELINE AREAS Cont...

- Single storey and two storey dwellings (lots over 500m²) - max 50% site cover.
- Site cover includes all covered areas including dwellings, garages/carports, sheds, covered pergolas etc.

Setbacks

- Front setbacks - single and two storey dwellings shall have a minimum setback of 1.5 metres and a maximum setback of 4.5 metres or as otherwise shown on the attached Detailed Area Plan.

The setbacks of garages/carports on those lots without direct access to a rear laneway shall be consistent with that of the dwelling or as otherwise shown on the attached Detailed Area Plan.

- Rear setbacks (excluding dwellings with laneway access) - in accordance with R-Codes or as otherwise shown on the attached Detailed Area Plan.
- Side setbacks - the setbacks of single and two storey dwellings shall be in accordance with the attached Detailed Area Plan - one side may have a nil setback (without the requirement for neighbour consultation).

The setbacks of Garages on adjoining lots may have a common nil side setback or as otherwise shown on the attached Detailed Area Plan.

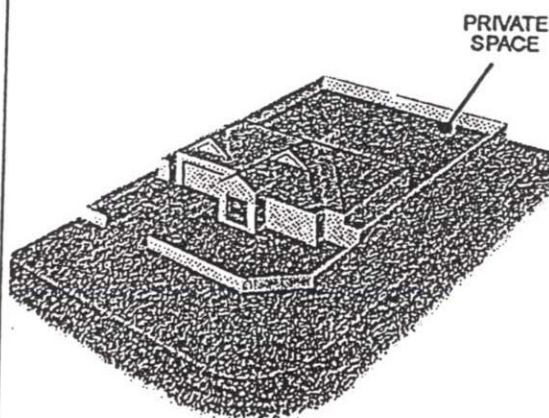
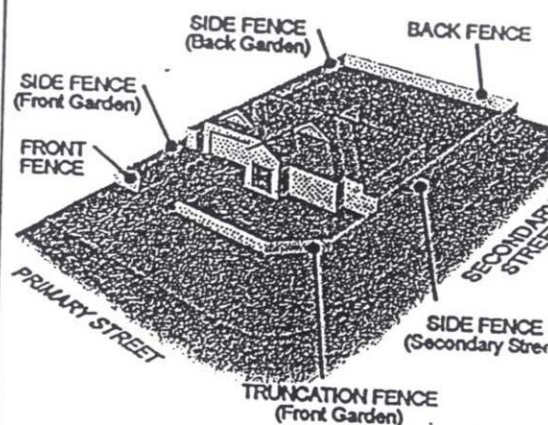
- Secondary Street Setbacks - single and two storey dwellings shall have a minimum setback of 1.5 metres.

Solar Orientation (incl. Location of private open space)

- The courtyards of lots with a southern street frontage should be located to the rear of dwellings and have a northerly aspect.
- The courtyards of lots with a northern street frontage should be located to the side of the dwelling and have an easterly aspect.
- Living areas of the dwelling should also have a northerly or southerly aspect to offer maximum winter sun and minimum summer sun penetration to internal spaces.

Fencing

- Front fencing is discouraged, however, if considered necessary, it is to be of an open design to a style and specification consistent with the 'Front Fences and Walls' section of this Policy.



SINGLE HOUSES IN DESIGN GUIDELINE AREAS Cont...

Services

- All clothes drying areas shall be located behind the dwelling.
- Letterboxes are to be located on the primary street boundary.

All other requirements shall be in accordance with the R-Codes.