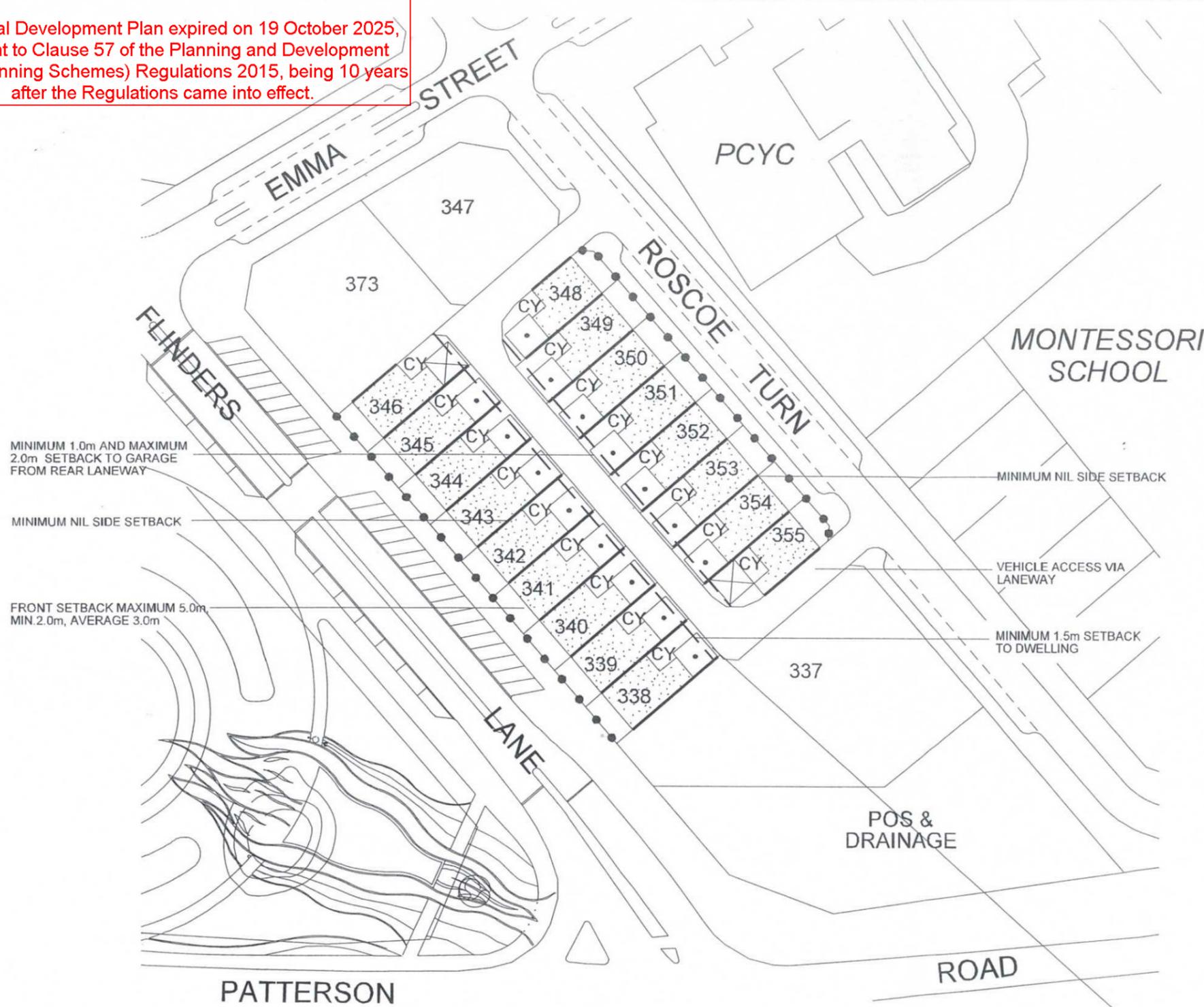


LOCAL DEVELOPMENT PLAN APPROVAL EXPIRED

This Local Development Plan expired on 19 October 2025, pursuant to Clause 57 of the Planning and Development (Local Planning Schemes) Regulations 2015, being 10 years after the Regulations came into effect.



MINIMUM 1.0m AND MAXIMUM 2.0m SETBACK TO GARAGE FROM REAR LANEWAY

MINIMUM NIL SIDE SETBACK

FRONT SETBACK MAXIMUM 5.0m, MIN 2.0m, AVERAGE 3.0m

MINIMUM NIL SIDE SETBACK

VEHICLE ACCESS VIA LANEWAY

MINIMUM 1.5m SETBACK TO DWELLING

MINIMUM 0.5m GARAGE TO LANEWAY SETBACK FOR STUDIO OVER GARAGE

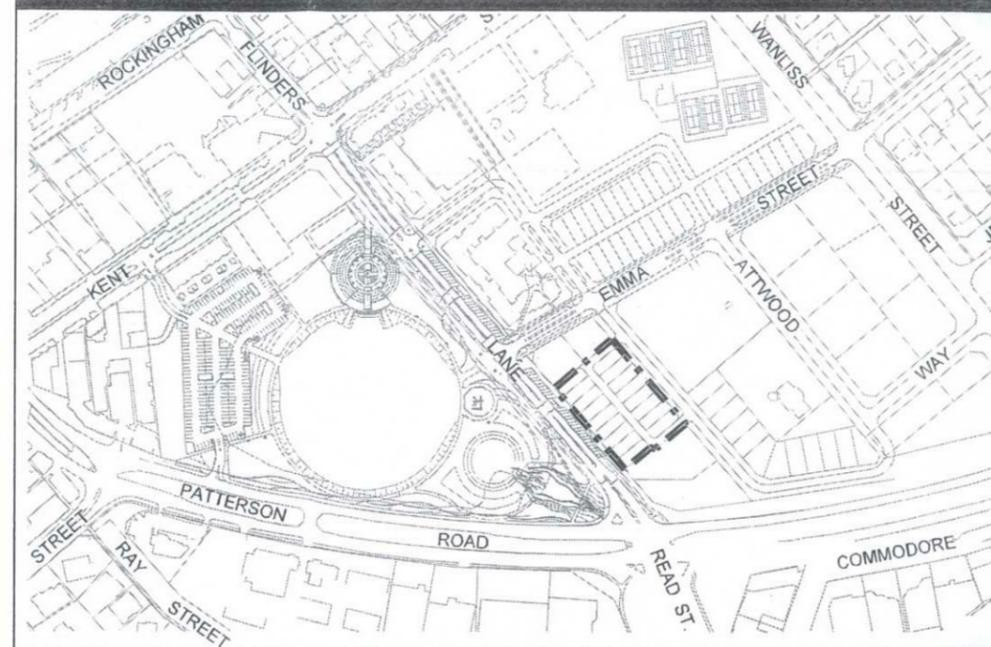
LEGEND

	DESIGNATED GARAGE LOCATION		NO VEHICLE ACCESS
	PREFERRED GARAGE LOCATION		MINIMUM 1.5m REAR DWELLING SETBACK
	BUILDING ENVELOPES	CY	PREFERRED COURTYARD LOCATION
	MINIMUM NIL SETBACK		

This Detailed Area Plan has been adopted by Council and signed by the Manager Planning Services.

[Signature]
 Manager Planning Services
 MANAGER STATUTORY PLANNING
 21/1/08
 Date

LOCALITY PLAN



DETAILED AREA PLAN R-CODE VARIATIONS

1. All dwellings and ancillary development (including patios, gazebos and sheds) must be within the building envelopes depicted on the DAP;
2. The requirements of the R-Codes are varied as shown on the Detailed Area Plan;
3. The requirements of the R-Codes and Town Planning Scheme shall be satisfied in all other matters;
4. The requirement to consult with adjoining or other landowners to achieve a variation of the R-Codes as shown on this DAP, is not required;
5. All lots are to be constructed with a store area (min. 4m²) under the main roof of the residence or garage and accessible from either the exterior or within the garage area.
6. Dwellings shall comply with the following:
 - i) a maximum front setback of 5m is permitted, minimum 2m, (average 3m);
 - ii) a minimum nil side setback for the full length of both side boundaries applies;
 - iii) a minimum 40% open space shall be provided;
 - iv) a maximum building height of 2 storeys (top of pitched roof 11m) max. 7m wall height (roof over) or 8m (parapet) applies;
 - v) garages shall be setback a minimum 1.0m (max 2.0m) from the rear boundary;
 - vi) studios over garages may have a minimum 0.5m setback to the rear boundary;
 - vii) dwellings shall be setback 1.5m minimum from the rear boundary;
 - viii) all vehicle access shall be via the laneway;
 - ix) the outdoor living area may be provided in the front setback area for lots fronting Roscoe Turn;
 - x) development shall be oriented to address public streets, laneways and public open space by the use of habitable room openings, articulated architectural features and the like;
 - xi) courtyards should be located in the position identified on the DAP or an alternative location which maximises solar access.

**DETAILED AREA PLAN
 ROCKINGHAM WATERFRONT VILLAGE - STAGE 1 - PRECINCT F (R60)**

DATE : 24 OCTOBER 2007
 PLAN NO. 03/086/013A (2)
 SCALE : 1:1000 @ A3



TAYLOR BURRELL BARNETT
 Town Planning and Design
 187 Roberts Road Subiaco
 Western Australia 6008
 Telephone: (08) 9352 2911
 Facsimile: (08) 9382 4586
 admin@tbbplanning.com.au