

RESIDENTIAL DESIGN CODE VARIATIONS

1. The requirements of the Residential Design Codes are varied as shown on the DAP.
2. The requirements of the Residential Design Codes and Town Planning Scheme No. 2 shall be satisfied in all other matters.
3. Consultation with the adjoining or other land owners to achieve a variation to the Residential Design Codes as provided for by the DAP is not required.

Street Setbacks/Streetscape

Primary Street Setbacks	2m minimum - 4m maximum
Laneway Setbacks	Minimum 0.5m (including eaves and fencing)
Front Loaded Lots - Garage Setbacks	Minimum 4.5m
Front Loaded - Garages Width (including supporting structures)	Maximum 50% of the frontage of the dwelling at the setback line (Maximum of 60% for two storey dwellings)

Boundary Walls (Laneway lots only)

- Single storey boundary walls are permitted to two side boundaries to a maximum height of 3.5m with an average height of 3m for 75% of the boundary behind the front setback.

Open Space/Outdoor Living Area

- Open Space is permitted in accordance with the table below, subject to the provisions of an Outdoor Living Area being provided, as follows:

Lots & Size	Minimum Open Space (% of site)	Minimum Outdoor Living Area
Lots 868-873, 883-878 221m ² - 260m ²	30%	24m ² uncovered with 4m minimum dimension
Lots 877, 874 and 875 261m ² - 300m ²	35%	24m ² uncovered with 4m minimum dimension
Lots 863-867, 884-889 and 876 301m ² - 350m ²	40%	30m ² uncovered with minimum 4m minimum dimension
Lot 862 Lots greater than 350m ²	As per R-Codes	As per R-Codes

Overshadowing

The overshadowing provisions of the R-Codes only applies to Lots 888 and 863.

Noise

A site-specific Acoustic Report prepared by a suitably qualified Acoustic Consultant is to be provided to certify that the design of each dwelling for Lots 904 - 907, 917 and 918 complies with the 'Quiet House Design' provisions under the Western Australian Planning Commission Policy 5.4 - Road and Rail Transport Noise and Freight Considerations in Land Use Planning.

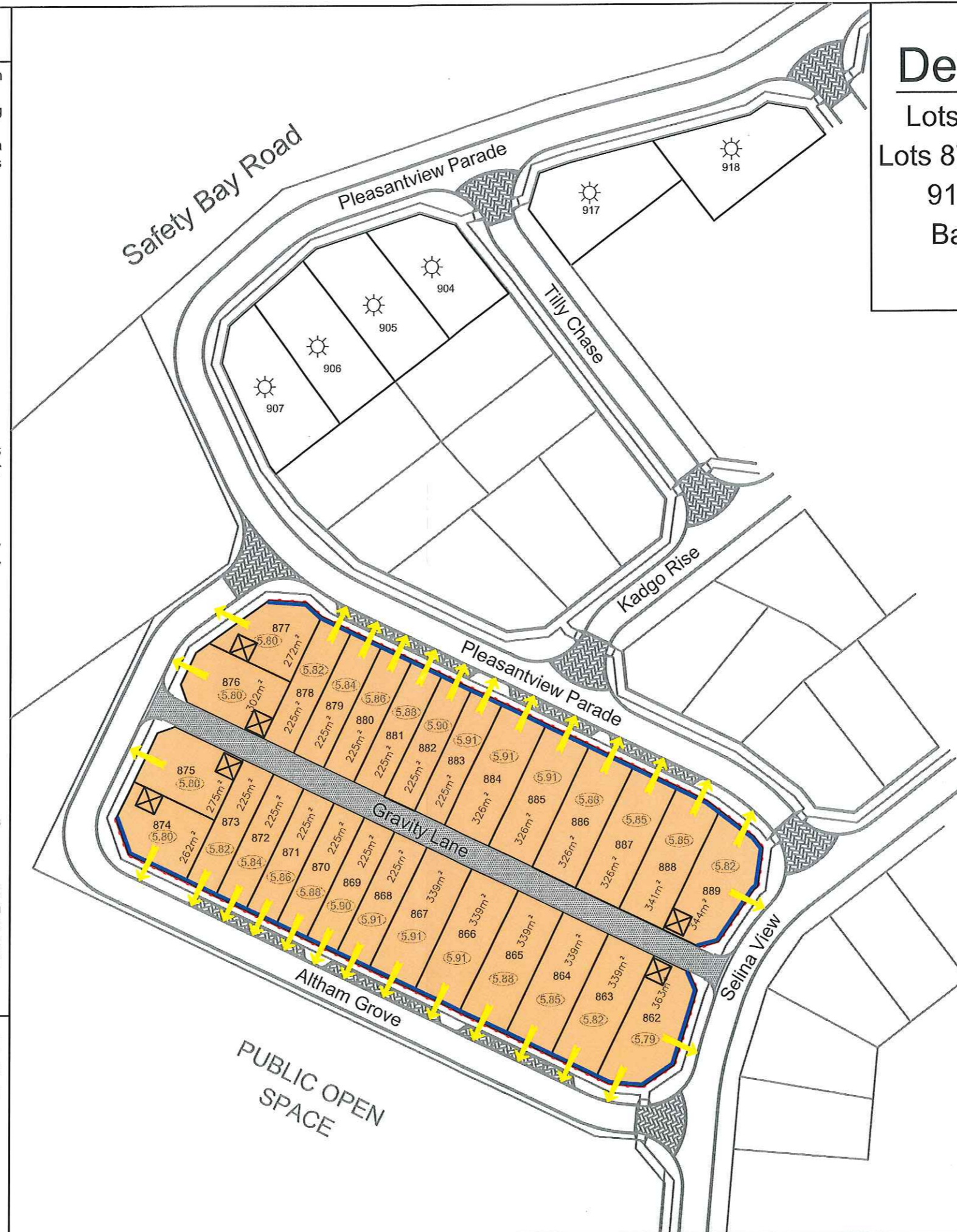
THIS DAP HAS BEEN APPROVED UNDER DELEGATION BY THE MANAGER, STATUTORY PLANNING UNDER CLAUSE 4.23.1(C)(i) OF THE CITY OF ROCKINGHAM TOWN PLANNING SCHEME NO. 2


Manager Statutory Planning

26/8/14
Date

Detailed Area Plan


Lots 862 - 875 Altham Grove,
Lots 876 - 889, 904 - 907, 917 and
918 Pleasantview Parade,
Baldivis (WAPC: 146677)




LEGEND


 No Vehicular Access


 R40 Code

 Lots which exceed noise target levels of WAPC Policy 5.4

 Retaining Walls

 Site Level

 Dwelling Orientation

 Garage Location

NB: Only the provision relating to 'Noise' applies to Lots 904 - 907, 917 and 918)



Orientation



Scale 1:100 @ A3