

Detailed Area Plan R-Code Variations

The Town Planning Scheme and R-Codes are varied in the following manner:

1. The requirements of the Residential Design Codes are varied as shown on the DAP.
2. The requirements of the Residential Design Codes and Town Planning Scheme shall be satisfied in all other matters.
3. The Residential Density coding is R25.
4. With the exception of lots 940 & 944 which have designated garage locations, an alternative garage location to that shown on the DAP may be approved by the Manager, Statutory Planning subject to the design meeting solar orientation principles, streetscape objectives and statutory requirements.

Note: Fencing on all property boundaries shall be prescribed by the Developer.

LOCAL DEVELOPMENT PLAN APPROVAL EXPIRED

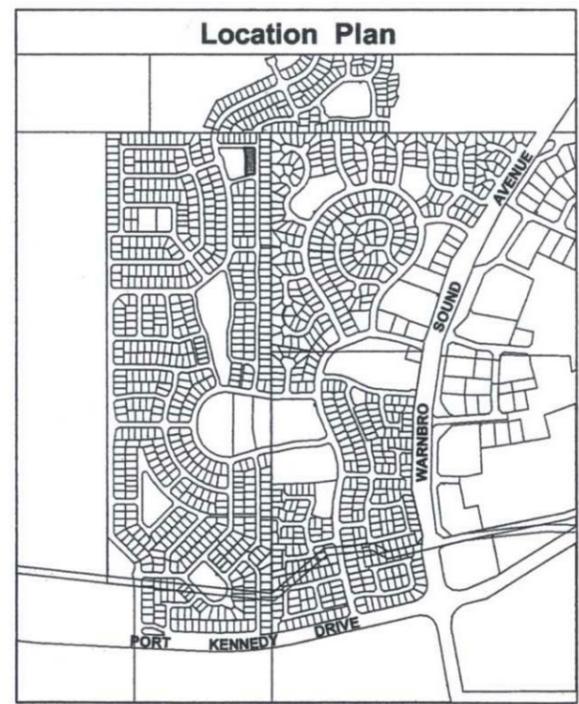
This Local Development Plan expired on 19 October 2025, pursuant to Clause 57 of the Planning and Development (Local Planning Schemes) Regulations 2015, being 10 years after the Regulations came into effect.

Minimum garage setback of 4.5m.

Minimum front setback 3m.

This Detailed Area Plan has been approved by the Manager Statutory Planning.

[Signature] 20.12.04
 Manager Statutory Planning Date

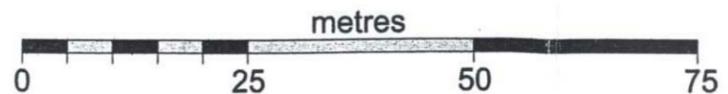


Legend:

- Preferred garage location
- ⊗ Designated garage location
- ▨ Indicative Building Footprint (refer to R-Codes)



Northern R25 Precinct Detailed Area Plan
KENNEDY PARK ESTATE



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