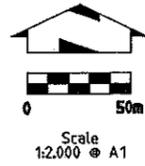


Detailed Area Plan - Gas Pipeline Setback

Highbury Park Estate Lot 9003 (formerly lot 656 & 659) Baldvis Rd, Baldvis

Avon
ESTATES



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Plan DAP01 rev B
26 November 2009

Residential development to be setback 6m from lot boundary adjacent to service corridor

High pressure gas pipeline. Residential development to be setback 32m from centre of pipeline easement

LOCAL DEVELOPMENT PLAN APPROVAL EXPIRED
This Local Development Plan expired on 19 October 2025, pursuant to Clause 57 of the Planning and Development (Local Planning Schemes) Regulations 2015, being 10 years after the Regulations came into effect.

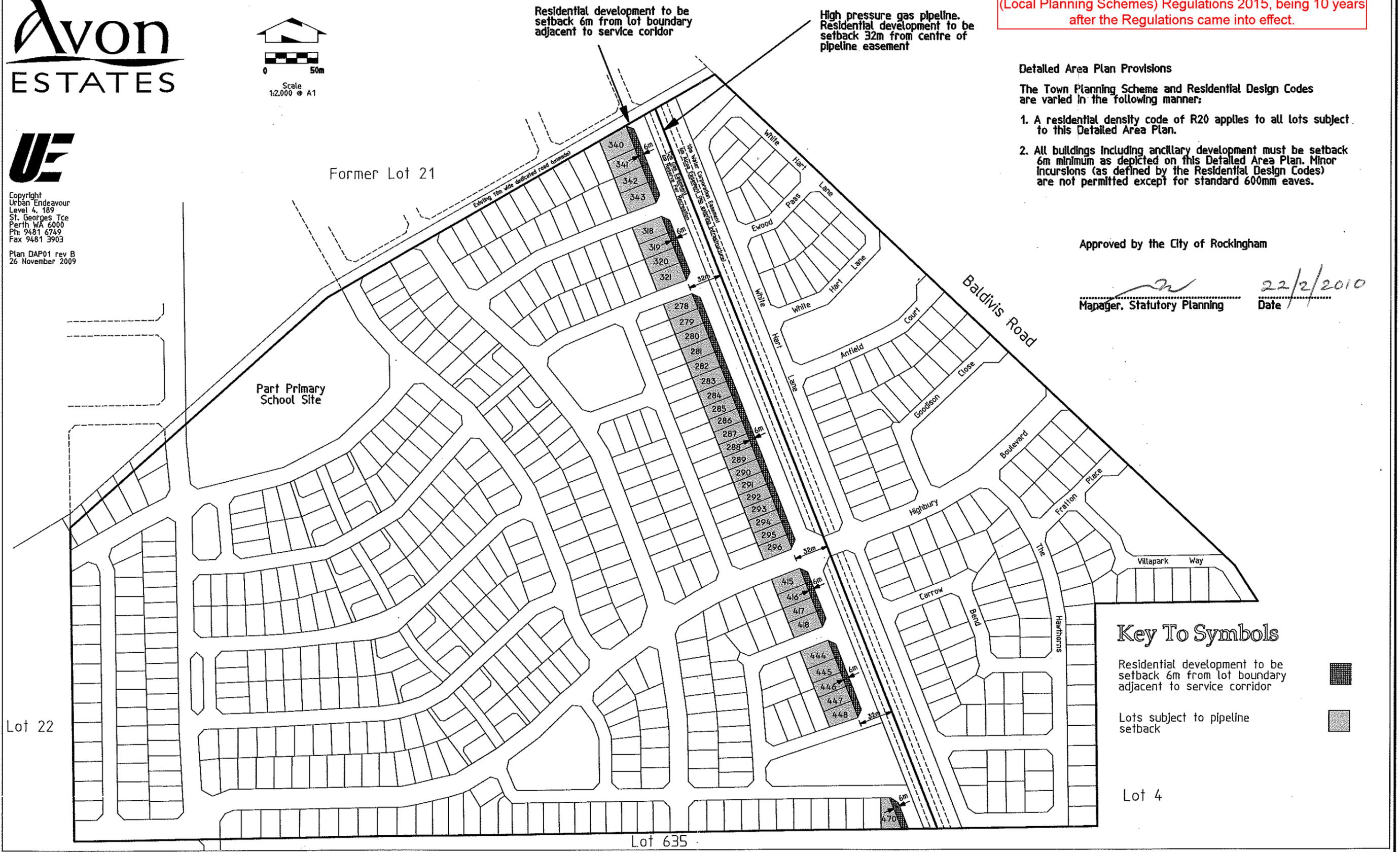
Detailed Area Plan Provisions

The Town Planning Scheme and Residential Design Codes are varied in the following manner:

1. A residential density code of R20 applies to all lots subject to this Detailed Area Plan.
2. All buildings including ancillary development must be setback 6m minimum as depicted on this Detailed Area Plan. Minor incursions (as defined by the Residential Design Codes) are not permitted except for standard 600mm eaves.

Approved by the City of Rockingham

[Signature] 22/2/2010
Magager, Statutory Planning Date



Key To Symbols

- Residential development to be setback 6m from lot boundary adjacent to service corridor
- Lots subject to pipeline setback

Lot 4

Lot 22

Lot 635