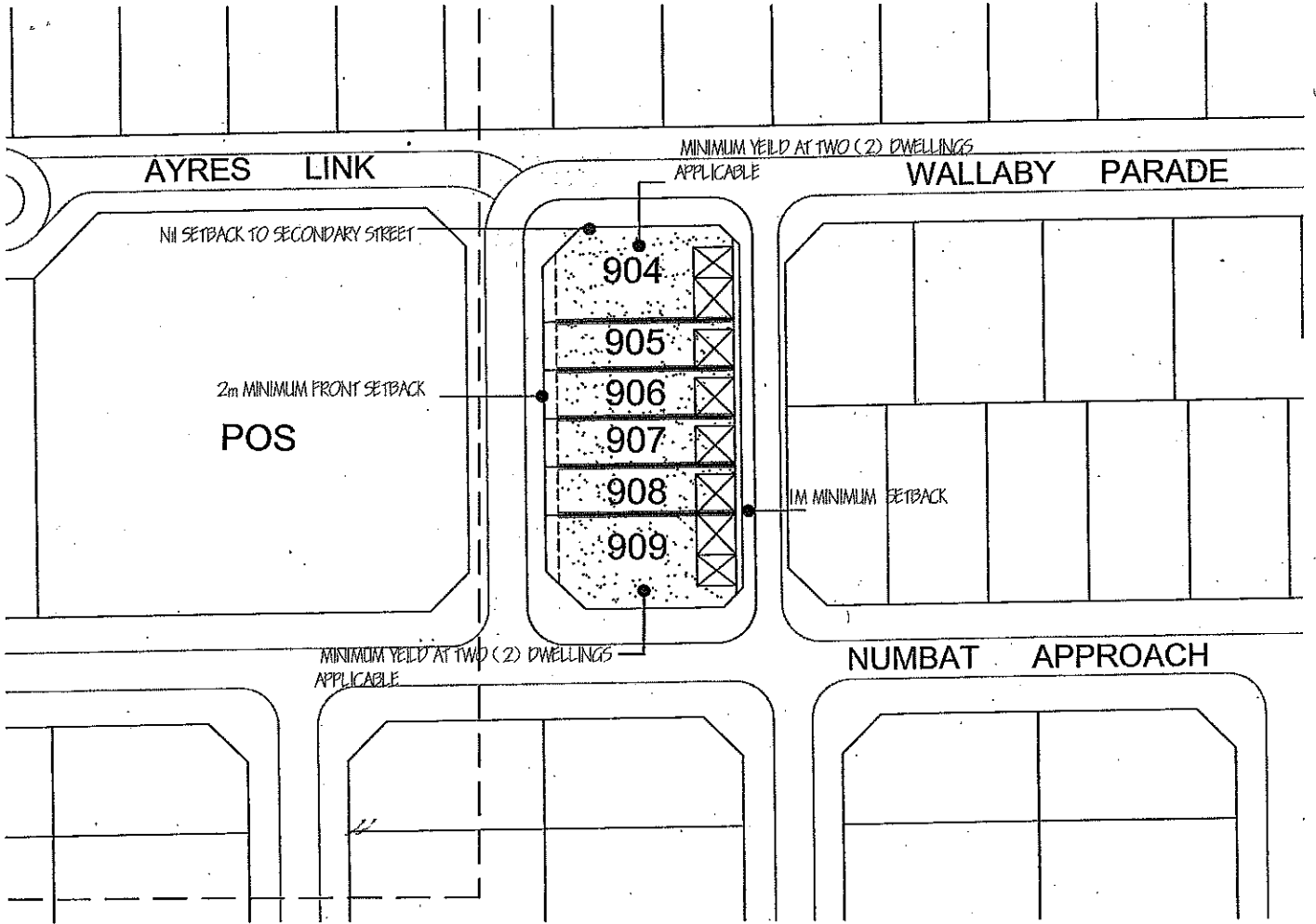
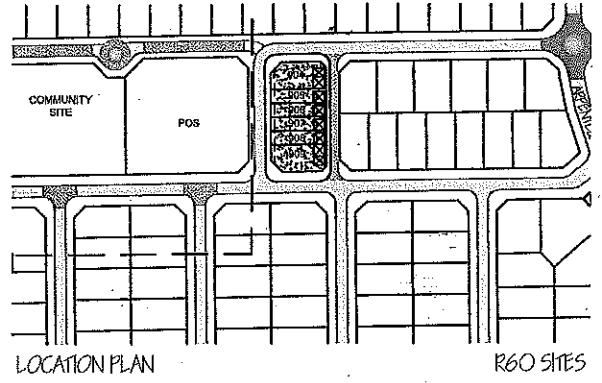


DETAILED AREA PLAN R-CODE VARIATION

The City of Rockingham Town Planning Scheme No. 2 and R-Codes are varied in the following manner:

1. All dwellings and ancillary development must be located within the building envelopes as depicted on the Detailed Area Plan;
2. The requirements of the R-Codes are varied as shown on the Detailed Area Plan for those lots zoned R60;
3. The requirements of the R-Codes and the City of Rockingham Town Planning Scheme No. 2 shall be satisfied in all other manners;
4. A 1m minimum setback to the garage from the rear laneway is required. No protrusion of either eaves, gutters or the like is permitted within the setback area;
5. A nil side setback is permissible on those lots shown on the Detailed Area Plan. Such walls shall not be higher than 6m for 80% of the length of the balance of the boundary behind the front setback;
6. A minimum total open space of 30% is required;
7. Setback variations to corner lots may be approved at the discretion of the Manager Building Services at the City of Rockingham where the configuration of these lots may limit compliance with the setback requirements; and
8. Single dwellings being provided with an enclosed, lockable storage area, constructed in a design and material matching the dwelling where visible from the street, accessible from outside the dwelling, with a minimum dimension of 1.5m with an internal area of at least 4m². The minimum dimension may be reduced to 1m where the space is shared with a garage.



LEGEND

- ☒ DESIGNATED GARAGE LOCATION
- BUILDING ENVELOPES
- ▭ NIL SETBACK PERMITTED

THIS DETAILED AREA PLAN HAS BEEN ADOPTED BY COUNCIL AND SIGNED BY THE MANAGER, STATUTORY PLANNING UNDER DELEGATED AUTHORITY.

[Signature]
MANAGER, STATUTORY PLANNING

13/5/2010
DATE

[Signature]
C. REGOVEDO
BUILDING SERVICES.
12-05-10

