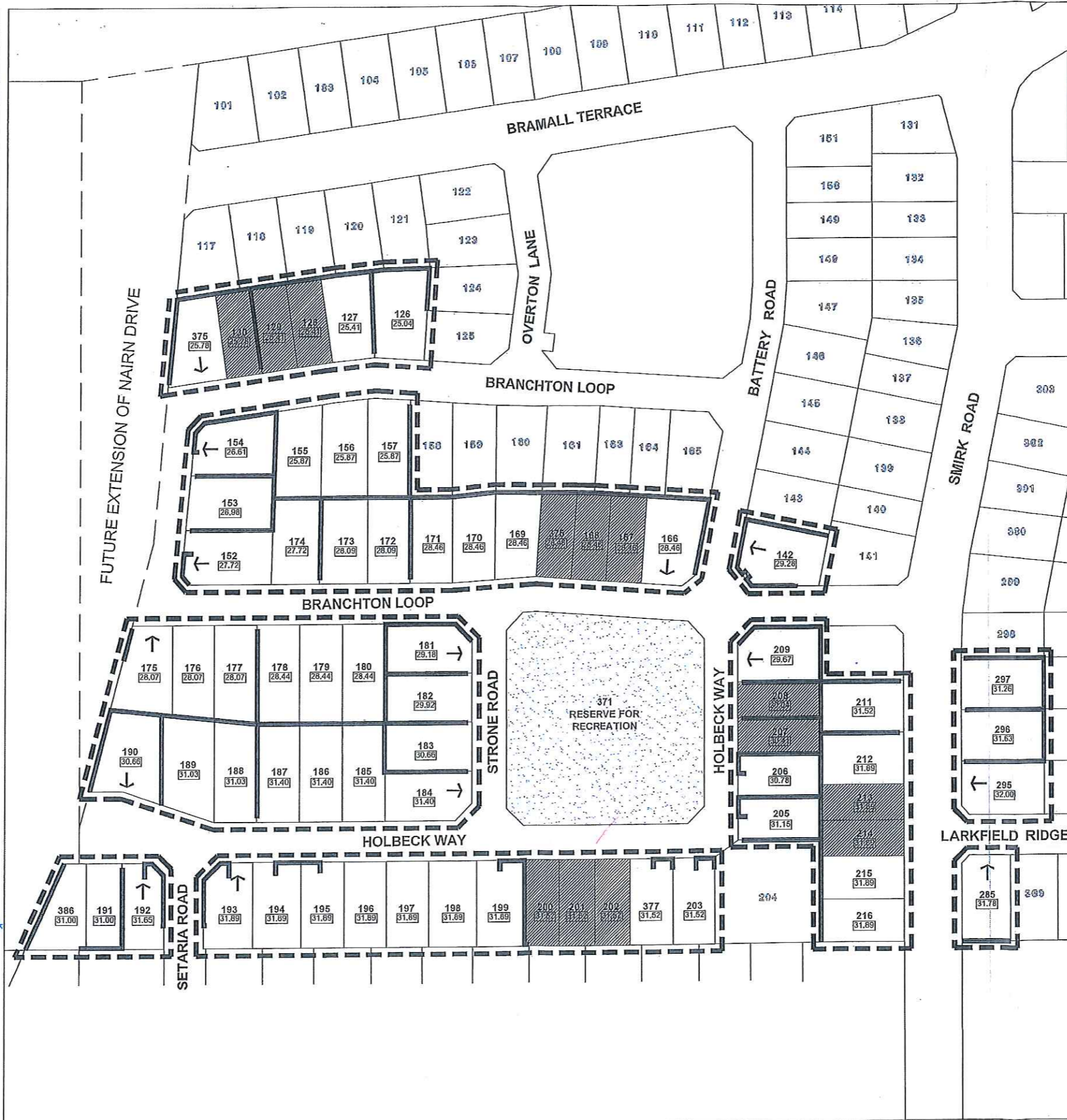


LEGEND

- LOTS SUBJECT TO THIS DAP
- R25 LOTS
- RESERVE FOR RECREATION & DRAINAGE
- RETAINING WALL
- PRIMARY ORIENTATION
- DWELLING ENTRIES ARE ENCOURAGED TO BE ALIGNED WITH STEPS ON LOTS 142
- PAD LEVEL



DETAILED AREA PLAN R-CODE VARIATIONS

The provisions of the City of Rockingham Town Planning Scheme No.2 and State Planning Policy 3.1 - Residential Design Codes are varied as detailed within this Detailed Area Plan (DAP). All other requirements of the Town Planning Scheme and R-Codes shall be satisfied in all other matters.

OBJECTIVES

- Encourage dwellings forward to the street to provide a greater street presence and a more intimate streetscape.
- Minimise garage dominance associated with reduced front setbacks.
- To ensure that meaningful and useful outdoor living areas are provided.

R-CODE VARIATIONS

The R20 density code applies to all lots contained within the DAP unless otherwise noted. Consultation with adjoining or other land owners to achieve a variation to the Residential Design Codes, as provided for by the DAP, is not required.

SET BACKS

1. Primary street: 3.0m minimum (Front setback averaging does not apply).
2. Verandahs and porticos can encroach into the primary street setback up to 1.0m.
3. Garages to be setback 0.5m from the primary building facade.
4. Setback variations to corner lots may be approved at the discretion of the Manager Building Services, where the configuration of these lots limits compliance with the setback requirements.
5. A minimum 1.0m setback applies to the secondary street.

OPEN SPACE

6. Open space requirement can be reduced to 45% when a minimum 4.0m x 6.0m outdoor living area is provided.
7. Outdoor living areas may have permanent roof cover up to 75% of the area provided.

ENDORSEMENT TABLE

This Detailed Area Plan has been endorsed by Council under clause 4.23.1(c) of Town Planning Scheme No. 2

[Signature] 10/1/2014
 Manager Statutory Planning Date
 City of Rockingham

