



RESIDENTIAL DESIGN CODE VARIATIONS

- The provisions of Town Planning Scheme No.2 (TPS2) and State Planning Policy 3.1 – Residential Design Codes (R-Codes) are varied as detailed within this Detailed Area Plan (DAP).
- The requirements of the R-Codes and TPS2 must be satisfied as provided in this DAP, except where provided in accordance with the City's Planning Policy 3.3.20 – Residential Design Codes.
- Consultation with adjoining or other land owners to achieve a variation to the R-Codes, as provided for by this DAP is not required.

STREET SETBACKS

- Primary Street Setback – 2.0m minimum to 4.0m maximum (no average setback applies).
- Secondary Street Setback – 1.0m minimum.
- Laneway Setback – 0.5m including garage, carport and eaves

STREETScape (REAR LOADED - LANEWAY)

- Garages and Carports – 0.5m from laneway.

STREETScape (FRONT LOADED - STREET)

- Garages and Carports – 4.5m minimum from Primary Street, which may be reduced to 3m at 'block ends' where lots have a depth of 25m or less, providing the garage or carport is located at least 0.5m behind the dwelling.
- Garage doors and supporting structures must not exceed 50% of the frontage at the front setback line from the Primary Street. This can be increased to 60% for two storey dwellings in accordance with clause 5.2.2 of the R-Codes.

LOT BOUNDARY SETBACKS (REAR LOADED - LANEWAY)

- Side Boundary Walls – Side boundary walls not higher than 3.5m with an average of 3m, for 75% of the length of the boundary to both sides, behind the Primary Street setback.

OPEN SPACE

Open Space Variations (by lot size)		
Lot Size	Minimum Open Space (% of site)	Minimum Outdoor Living Area (m ²)
180m ² – 220m ²	30%	20m ² uncovered with 4m minimum dimension
261m ² – 300m ²	35%	24m ² uncovered with 4m minimum dimension

SITE PLANNING AND DESIGN

- Solar Access for adjoining sites – R-Code requirements do not apply.

LEGEND:

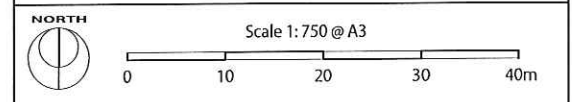
- DAP Boundary
- No Vehicle Access Permitted
- Estate Fencing
- 2.0m Path
- 2.5m Dual Use Path
- R40 Coding
- R30 Coding
- Primary Dwelling Orientation
- Corner Lot Design
- Designated Garage Location
- On Street Parking



DETAILED AREA PLAN Stage 8
BALDIVIS
for:

This Detailed Area Plan has been approved under delegation by the Manager, Statutory Planning under clause 4.23.1(c) of the City of Rockingham Town Planning Scheme No.2:

1/10/2014
Manager Statutory Planning City of Rockingham Date



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