

PROVISION - TEW STREET DAP

The provisions addressed below relate to Baldivis North Estate Lots 380 - 387.
 This Detailed Area Plan has been approved under delegation by the Manager, Statutory Planning under clause 4.23.1(c) of the City of Rockingham Town Planning Scheme No.2. The requirements of the City of Rockingham Scheme and R-Codes shall be satisfied in all other matters.

1. GENERAL PROVISIONS	
a) R-Coding	Residential 'R30'
b) Minimum Open Space:	40%

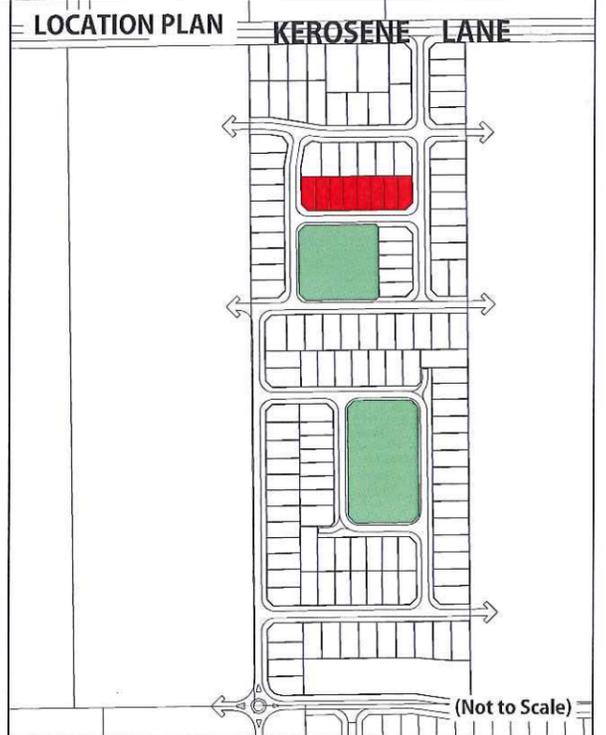
2. SETBACK PROVISIONS		
	Minimum	Maximum
a) Primary Street	2.0m	4.0m
b) Secondary Street	1.5m	-
c) Garage Setbacks	4.5m	-
d) Side Setbacks	Nil setbacks are permissible on both boundaries of each lot, except for the secondary street. Nil setback wall heights shall not exceed 3.5m (max) and shall be no more than 2/3 the length of the boundary behind the prescribed primary street setback line.	
Ground Floor		
Second Storey Eastern Boundary	2.0m	-

NOTES
 Setback variations to corner lots may be approved at the discretion of the Manager, Building Services where the configuration of these lots limits compliance with setback requirements.
 All dwellings and ancillary development must be located within the building envelopes as depicted on the Detailed Area Plan.

3. PRIMARY DWELLING ORIENTATION
 Dwellings shall be designed to include at least one habitable room window facing the Primary Street.

LOCAL DEVELOPMENT PLAN APPROVAL EXPIRED

This Local Development Plan expired on 19 October 2025, pursuant to Clause 57 of the Planning and Development (Local Planning Schemes) Regulations 2015, being 10 years after the Regulations came into effect.



LEGEND:

- DAP Boundary
- No Vehicle Access
- Retaining Wall
- Footpath
- Public Open Space
- Building Envelope
- Recommended Garage Location
- X Designated Garage Location
- ➔ Primary Dwelling Orientation
- ➡ Secondary Dwelling Orientation

30.07.13

This Detailed Area Plan has been approved under delegation by the Manager, Statutory Planning under clause 4.23.1(c) of the City of Rockingham Town Planning Scheme No.2

Manager, Statutory Planning,
 City of Rockingham: *[Signature]*
 Date: 31/7/2013

DETAILED AREA PLAN
 Lots 380 - 387 Tew Street, BALDIVIS
 For: Baldivis North P/L



Copyright Development Planning Strategies. No part of this plan may be reproduced in any form without prior consent from DPS. All care has been taken in preparation of this plan but no responsibility is taken for any errors or omissions and is subject to change. Areas and dimensions shown on plan are subject to final survey. Cartilageways depicted on plan are diagrammatic only.

NORTH		Scale 1: 750 @ A3	
COMPILED: DPS, MAPS	DRAWN BY: NM	DATE: 05/06/2013	REVISED: 26/07/2013
GRID: MGA 50	DATUM: AHD	DRAWING NUMBER: PACWE-4-002b	JOB CODE: ARBBDSUB
FILE ID: M:\PACWE\BASE\DAP\PACWE-4-002b.dgn			

28 Brown St, East Perth WA 6004
 PO BOX 6697 EAST PERTH 6892
 T (08) 9268 7900
 F (08) 9268 7999
 E dps@dpswa.com.au