



# **Metro Outer Joint Development Assessment Panel Agenda**

**Meeting Date and Time:** Monday, 2 November 2020; 9.30am  
**Meeting Number:** MOJDAP/47  
**Meeting Venue:** City of Rockingham  
Civic Boulevard, Rockingham

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## **Attendance**

### **DAP Members**

Mr Ian Birch (Presiding Member)  
Ms Sheryl Chaffer (Deputy Presiding Member)  
Mr John Taylor (A/Third Specialist Member)  
Cr Matthew Whitfield (Local Government Member, City of Rockingham)  
Cr Mark Jones (Local Government Member, City of Rockingham)

### **Officers in attendance**

Mr John Pride (Western Australian Planning Commission)  
Mr David Banovic (City of Rockingham)  
Mr Mike Ross (City of Rockingham)  
Ms Nicole Gardner (City of Rockingham)

### **Minute Secretary**

Ms Nicole D'Alessandro (City of Rockingham)

### **Applicants and Submitters**

Mr Andrew Piccoli (Bateman Architects)  
Ms Louise Johnston (Bateman Architects)

### **Members of the Public / Media**

Nil

#### **1. Opening of Meeting, Welcome and Acknowledgement**

The Presiding Member declares the meeting open and acknowledges the traditional owners and pay respects to Elders past and present of the land on which the meeting is being held.

#### **2. Apologies**

Mr Jason Hick (Third Specialist Member)  
Cr Deb Hamblin (Local Government Member, City of Rockingham)

#### **3. Members on Leave of Absence**

Nil

#### **4. Noting of Minutes**

Signed minutes of previous meetings are available on the [DAP website](#).

#### **5. Declarations of Due Consideration**

Any member who is not familiar with the substance of any report or other information provided for consideration at the DAP meeting must declare that fact before the meeting considers the matter.



## 6. Disclosure of Interests

Member	Item	Nature of Interest
Mr John Taylor	8.1	Impartiality Interest – Applicants and submitters include Mr Louise Johnston (Bateman Architects). Ms Johnston and Mr Taylor are both State Councillors of the Australian Institute of Architects (WA) in 2020. Mr Taylor declares that familiarity will not influence decision making in relation to the item.

## 7. Deputations and Presentations

The Western Australian Planning Commission may be provided with the opportunity to respond to questions of the panel, as invited by the Presiding Member.

## 8. Form 1 – Responsible Authority Reports – DAP Applications

### 8.1 Lot 99 (2) Viva Boulevard, Baldivis

Development Description: Education Facility  
Applicant: Bateman Architects  
Owner: Department of Education  
Responsible Authority: Western Australian Planning Commission  
DAP File No: DAP/20/01848

## 9. Form 2 – Responsible Authority Reports – DAP Amendment or Cancellation of Approval

Nil

## 10 State Administrative Tribunal Applications and Supreme Court Appeals

Current SAT Applications				
File No. & SAT DR No.	LG Name	Property Location	Application Description	Date Lodged
DAP/19/01708 DR 138/2020	City of Kwinana	Lot 108 Kwinana Beach Road, Kwinana	Proposed Bulk Liquid Storage for GrainCorp Liquid Terminals	1/7/2020
DAP/19/01575 DR 256/2019	City of Armadale	Lot 9007 (76) Southampton Drive, Piara Waters	Lifestyle Village (Piara Waters Lifestyle Village)	10/12/2019
DAP/01729 DR 176/2020	City of Kalamunda	Lot 130 (74) Warlingham Drive, Lesmurdie	Aged Residential Care Facility	28/8/2020
DAP/20/01764 DR 204/2020	City of Swan	Lot 780 (46) Gaston Road, Bullsbrook	Proposed Stick Feed Grain Mill	8/9/2020



Current SAT Applications				
File No. & SAT DR No.	LG Name	Property Location	Application Description	Date Lodged
DAP/20/01738 DR 225/2020	City of Kwinana	Lot 15 Mason Road, Kwinana	Proposed Lithium Plant	7/10/2020
DAP/20/01803	City of Joondalup	Lots 208 and 207 (122 & 124) Coolibah Drive, Greenwood	Development and use of a Child Care Premise and associated car parking, access and signage	6/10/2020

## 11 General Business

In accordance with Section 7.3 of the DAP Standing Orders 2017 only the Presiding Member may publicly comment on the operations or determinations of a DAP and other DAP members should not be approached to make comment.

## 12 Meeting Closure





## Form 1 - Responsible Authority Report (Regulation 12)

<b>Property Location:</b>	Northern part of Lot 99, corner Sixty Eight Road and Viva Boulevard, Baldivis (total area 9.4412 hectares)
<b>Application Details:</b>	Proposed Secondary School (Stage 2)
<b>DAP Name:</b>	Metro Outer Joint Development Assessment Panel
<b>Applicant:</b>	Bateman Architects on behalf of the Minister for Works
<b>Owner:</b>	Minister for Education
<b>LG Reference:</b>	City of Rockingham
<b>Responsible Authority:</b>	Western Australian Planning Commission
<b>Authorising Officer:</b>	Planning Director, Metro South Peel
<b>Department of Planning File No:</b>	DAP – 20.20.240.1
<b>Report Date:</b>	15 October 2020
<b>Application Receipt Date:</b>	7 September 2020
<b>Application Process Days:</b>	57 days
<b>Attachment(s):</b>	1 - Location Plan 2 - Aerial Image 3 - Planning Framework 4 - Development Plans 5 - Proposed Additional Parking 6 - Bushfire Attack Level Contour Map

### Officer Recommendation:

That the Metro Outer Joint Development Assessment Panel (MOJDAP) resolves to:

**Approve** DAP Application reference DP-20.20.240.1, date-stamped 7 September 2020 by the Department of Planning, Lands and Heritage in accordance with the Metropolitan Region Scheme (MRS), subject to the following conditions:

### Conditions

#### Administrative

- 1 This decision constitutes planning approval only and is valid for a period of two years from the date of approval. If the development is not substantially commenced within the two-year period, the approval shall lapse and be of no further effect.

#### Transport

- 2 Signage and/or pavement markings (e.g. "No Right Turn") shall be provided at the western end of the parking area north of the Community 3 Building to the satisfaction of the Western Australian Planning Commission and to the specifications of the City of Rockingham.

- 3 The western-most parallel parking bay located south of the existing B4 Technologies building shall be removed to the satisfaction of the Western Australian Planning Commission and to the specifications of the City of Rockingham.

#### Site Works

- 4 All earthworks shall be stabilised to prevent sand drift to the satisfaction of the Western Australian Planning Commission and specifications of the City of Rockingham.
- 5 Engineering drawings and specifications are to be submitted and approved, and the works undertaken in accordance with the approved engineering drawings and specifications and approved plans for the development, for the filling and draining of the land, including ensuring that stormwater is contained on site. Engineering drawings and specifications are to be in accordance with an approved Urban Water Management Plan (UWMP) for the site, or where no UWMP exists, to the satisfaction of the Western Australian Planning Commission and to the specifications of the City of Rockingham.
- 6 Shade trees being planted and maintained within the proposed car parking areas at a rate of one tree per 4 car parking bays to the satisfaction of the Western Australian Planning Commission and to the specifications of the City of Rockingham, such trees being consistent with the requirements of *State Planning Policy 3.7 – Planning for Bushfire Prone Areas: Guidelines* (Schedule 1)

#### Waste Management

- 7 Prior to applying for a Building Licence, a Waste Management Plan shall be prepared for previously approved Stage 1 and proposed Stage 2 and is to include the following details to the satisfaction of the Western Australian Planning Commission and specifications of the City of Rockingham:
  - (a) The location of bin storage areas;
  - (b) The number, volume and type of bins and the type of waste to be placed in the bins;
  - (c) Management of the bins and the bin storage areas, including cleaning, rotation and moving bins to and from the bin collection areas; and
  - (d) frequency of bin collections,and all works shall be carried out in accordance with the Waste Management Plan.

#### Fire and Emergency

- 8 Implementation of the Ridge View Secondary College Baldivis – Bushfire Management Plan Addendum BAL Contour map and Bushfire Protection Criteria (Stage 2) prepared by Bushfire Prone Planning and dated 30 July 2020 to the satisfaction of the Western Australian Planning Commission and to the specifications of the City of Rockingham.
- 9 Buildings shall be constructed in accordance with Australian Standard AS AS3959 to the satisfaction of the Western Australian Planning Commission and to the specifications of the City of Rockingham

## Background:

The Ridge View Secondary College is located in Baldivis, 11 kilometres south-east of Rockingham City Centre and 46 kilometres south of the Perth Central Business District (see **Attachment 1** – Location Plan and **Attachment 2** – Aerial Image). The land is zoned Urban in the MRS and Development in the City of Rockingham Town Planning Scheme No. 2.

Sixty Eight Road forms the southern boundary of the school. This has a reserve width of 22.2 metres and a speed limit of 70 kilometres per hour. The road forms the southern boundary of a large area zoned Urban in the MRS. This road is also the northern boundary of a large area of Rural-zoned land to the south, comprising rural residential lots from 2 to 5 hectares.

The *South Metropolitan Peel Sub-regional Planning Framework* (the Planning Framework) includes the school site within the Public Purposes classification. The Planning Framework maintains the same broader land use pattern referred to above for the long term but with the addition of two areas classified Urban Expansion (approximately 93ha and 27 ha). These are within existing rural residential land south of Sixty Eight Road reserve shown on **Attachment 3** – Planning Framework.

Approved local structure plans apply to the land surrounding and including the site, making provision for residential development and the school site. Residential subdivision and development have been completed to the west of the site. To the north and east, subdivisions have been approved and construction is progressively taking place.

In September 2016, the MSWJDAP approved Stage 1 of the school which comprised classrooms, administration buildings, a science learning centre, a technology learning centre, a health and physical education centre, an information resource centre and staffroom, 140 internal car parking bays, 55 on-street bays, two bus bays, a playing field and four hard courts. These have been constructed and are now in use.

Property Address:	Lot 99 corner of Sixty-Eight Road and Vista Boulevard, Baldivis
Zoning	MRS: Urban
	TPS: Development
Development Scheme:	Metropolitan Region Scheme
Site Area:	9.4412 hectares
Existing Land Use:	Secondary school
Value of Development:	\$23,000,000

## Details: outline of development application

The current application is the second stage of development of the same site for a public secondary school and comprises the following:

- 1 Three new buildings, including:
  - Community 2 & 3 Building (two storeys) – These will accommodate general learning areas, staff and education assistant facilities.

- Arts Learning Area (two storeys) – This will accommodate visual arts, drama, dance, music, media and staff facilities.
  - Auditorium and Lecture Theatre building (9.0 metres high).
- 2 Refurbishment of some Stage 1 facilities, comprising the following conversions of existing facilities:
- General Learning Area (GLA) to become a ‘teaching café’.
  - Drama studio to become a food technology facility.
  - Two visual arts studios to become STEM workshops.
  - Kiln room to become a finishing room with spray booths.
  - Music room to become a fitness facility.
  - Staff room and two GLAs to become a large staff common room area.
- 3 An additional four sports courts.
- 4 An additional 88 parking bays (resulting in 248 on-site and 38 off-site).

The existing and proposed development (includes new facilities and refurbishments) are shown on **Attachment 4** – Development Plans.

### **Legislation & policy:**

*Metropolitan Region Scheme 1963.*

*Planning and Development Act 2005.*

### State Government Policies

South Metropolitan Peel Sub-regional Planning Framework

State Planning Policy 3.7 - Planning in Bushfire Prone Areas

Liveable Neighbourhoods

### **Consultation:**

The City of Rockingham (City) supports the proposed development, subject to conditions. The recommended conditions serve a planning purpose and have been reviewed with the applicant and the City.

In relation to Stage 1, the (then) Department of Parks and Wildlife commented that clearing required for the school may result in the loss of habitat for endangered and vulnerable birds. This clearing took place as part of Stage 1. The Department of Biodiversity, Conservation and Attractions now advises that it has no comment on the application.

The Department of Water and Environmental Regulation raises no objection to the development and recommends a condition relating to filling and drainage.

The Department of Fire and Emergency Services (DFES) has queried the validity of the classification of vegetation north of Stage 2 and recommends changes to the Bushfire Management Plan to provide certainty that enforceable mechanisms are in

place to manage this area in perpetuity. It also draws attention to the need for decision-makers to have regard for bushfire construction requirements of the Building Code. This matter is discussed later in this report.

### **Planning assessment:**

The proposed development constitutes a public work by a public authority on land zoned Urban in the Metropolitan Region Scheme (MRS). Pursuant to clause 6 of the *Planning and Development Act 2005*, the Department of Building, Management and Works is exempt from the requirement to obtain development approval under the City of Rockingham Town Planning Scheme No. 2. Only approval from the Western Australian Planning Commission under the MRS is required.

As the value of the works is estimated at \$23 million, it is required to be determined by the Metro Outer Joint Development Assessment Panel.

### Metropolitan Region Scheme Assessment

#### *Purpose of the zone*

The land is classified Public Purposes in the Planning Framework and is zoned Urban in the MRS. The purpose of the classification is to allow for a secondary school. The current application is for approval to further development, to supplement existing buildings and other improvements approved for education, recreation and school amenities. This is compatible with the purpose of the zone.

#### *Orderly and proper planning and the amenity of the locality*

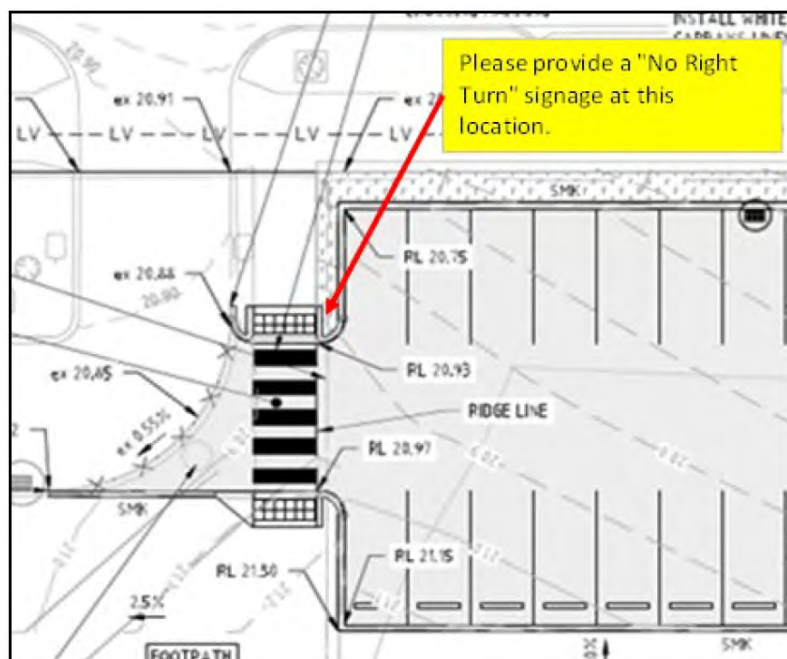
The intent that the land should be used for secondary school purposes is amplified in local structure plans approved by the WAPC and City of Rockingham which identify this land for a high school site. The proposed development is consistent with the delineation in these structure plans.

The potential for external effects from noise emissions from the school has been addressed. In this respect, an acoustic assessment has been examined by the City of Rockingham which considered that the potential for noise from music and from plant/equipment required close attention. The City subsequently advises that these matters have been addressed satisfactorily in the acoustic report.

In relation to traffic considerations, secondary schools have potential to significantly affect traffic volumes and patterns. In this respect, construction of Stage 2 would enable the school to increase enrolment capacity to 1,600 students from Year 7 to 12. The following observations are made in relation to this:

- Sixty Eight Road has been widened from its original 20 metre width by 2.2 metres and a further 2.2 metre widening will be required when development of the land classified Urban Expansion in the Planning Framework takes place. This will achieve a 24.4 metre road reserve width, consistent with a Neighbourhood Connector A. This is a suitable level for a secondary school.
- The school site is surrounded by roads on all sides and this provides for good accessibility to, from and past the school.

- Along the full frontage of the site, Sixty Eight Road has been upgraded to make it a 2-lane dual carriageway as a condition of approval to Stage 1. Also, all perimeter roads are in place.
- No entry points or parking have been constructed or proposed on Sixty Eight Road.
- A transport impact assessment, using a conservative trip rate, estimates that completion of Stage 2 will result in a total of 3,200 vehicle trips per day, i.e. two peak hours of 1,600 trips (800 in / 800 out). SIDRA modelling indicates all school accesses and nearby intersections are likely to perform well within capacity with relatively minimal queuing and delay.
- Access points and the configuration of parking provisions allow for a substantial proportion of traffic movement to occur within the site but outside the area containing school buildings. This reduces pedestrian-vehicle conflicts inside the site and reduces conflicts with non-school local traffic movements outside the grounds.
- There are currently 160 parking bays on the site. Stage 2 will create 88 additional bays in two areas (see **Attachment 5** – Proposed Additional Parking). In conjunction with 38 kerbside bays, the proposed overall number would be 286 bays. This exceeds the number of bays required under the Department of Finance, Building Management and Works *Secondary School Planning Guide* (i.e. 272 bays).
- Bus parking is located on Vista Boulevard on the same side of the road as the high school and is set back from the intersection with Sixty Eight Road.
- The City of Rockingham recommends signage and/or pavement markings (e.g. “No Right Turn”) should be provided at the western end of the parking area north of the Community 3 Building, as illustrated below, to enforce the required traffic flow within the car parking area.



- The City also recommends the proposed western-most parallel parking bay located to the south of the existing B4 Technologies building should be

removed as this bay is expected to present difficult manoeuvring requirements.

### *Landscaping*

The City of Rockingham recommends shade trees be required within the proposed car parking area at a rate of one tree per four car parking bays. It recommends these be required in order to tie-in with existing treatments in the more-westerly car park adjacent to Solis Boulevard and to provide shade while softening the appearance of the car park.

### *Bushfire Risk*

The Department of Fire and Emergency Services (DFES) raises no objections to the design of the Stage 2 development.

In relation to bushfire hazard, most of the Stage 2 development is surrounded by other elements of the school development and residential subdivision, either fully-developed or with works in progress. Accordingly, Bushfire Attack Levels are mostly either 'BAL-LOW' or 'BAL-12.5, as shown on **Attachment 6** – BAL Contour Map). These are both acceptable levels of risk.

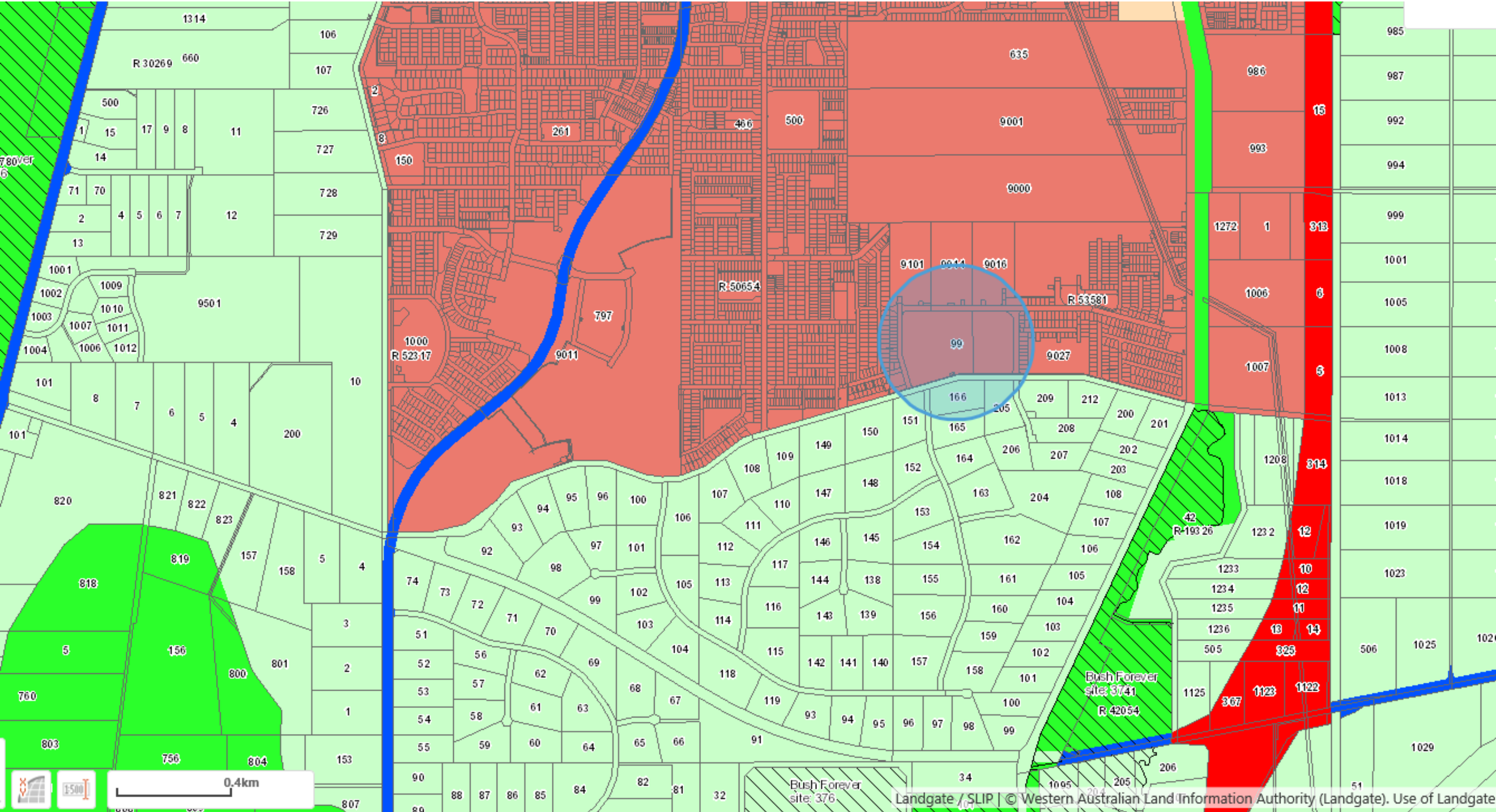
Part of an area to the north of Stage 2 is not yet developed and contains parkland cleared remnant woodland. The DFES has queried the classification of this area and recommends changes to the Bushfire Management Plan to provide certainty that enforceable mechanisms are in place to manage this area in perpetuity. However, this area is the subject of approved structure plans that provide for it to become medium density residential development. Accordingly, the woodland will be replaced with housing, thereby removing the need for ongoing arrangements for bushfire risk management.

The DFES also draws attention to the need for decision-makers to have regard for bushfire construction requirements of the Building Code. In this respect, the applicant advises that the Department of Education typically adopts AS3959 Construction Standards for all new buildings. However, a condition requiring this standard of construction is not considered mandatory as the area of parkland cleared woodland will become medium density housing following subdivision. In the interim, the proposed building setbacks are compatible with the worst-case scenario (BAL-19), and therefore compatible with *State Planning Policy 3.7 – Planning in Bushfire Prone Areas*.

### **Conclusion:**

The development proposal provides for enhancement of an important element in community infrastructure for the surrounding areas and is consistent with the established planning framework, the orderly development of the locality and the preservation of local community amenity.

Accordingly, conditional approval is recommended.

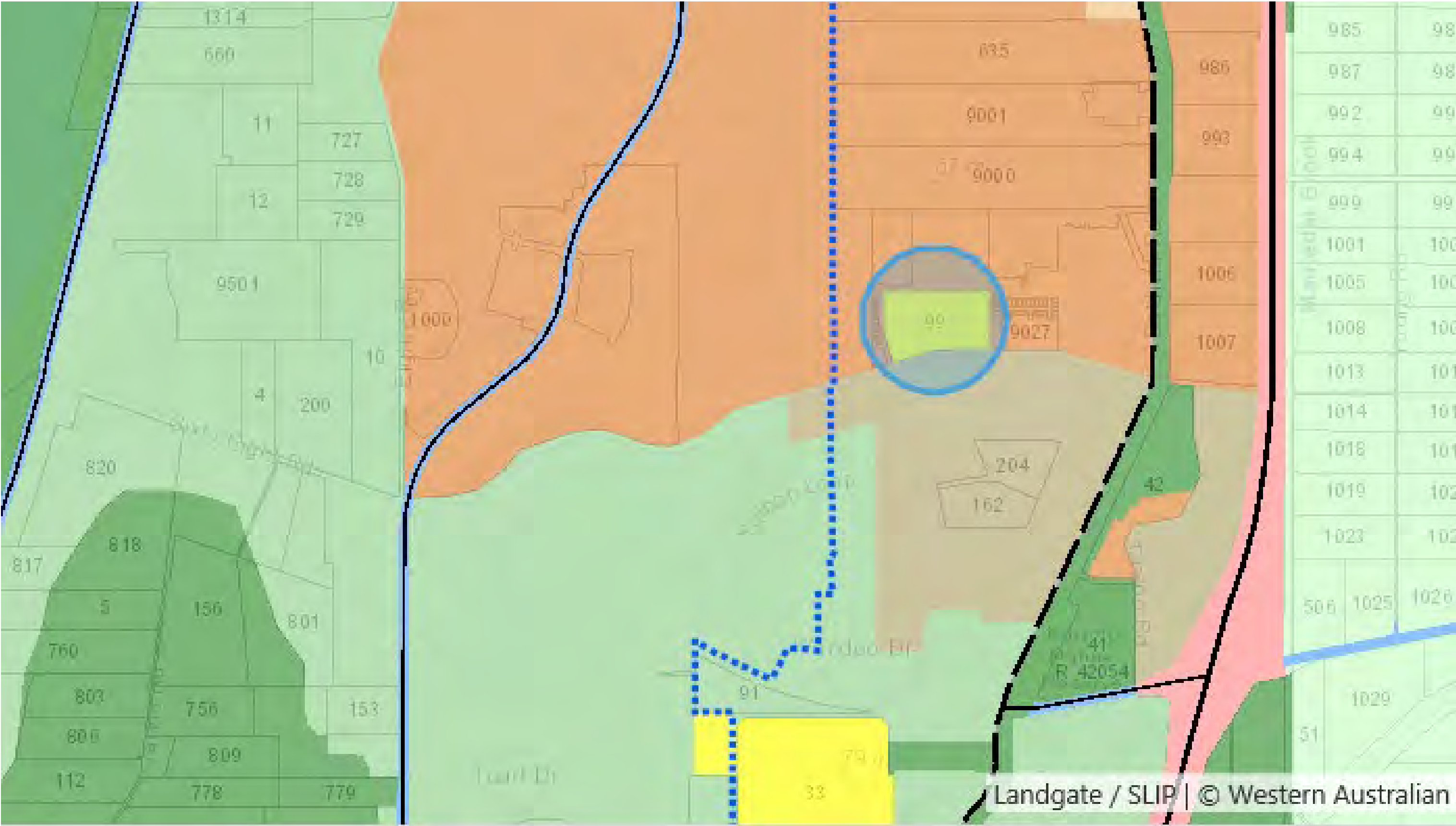


LOCATION PLAN





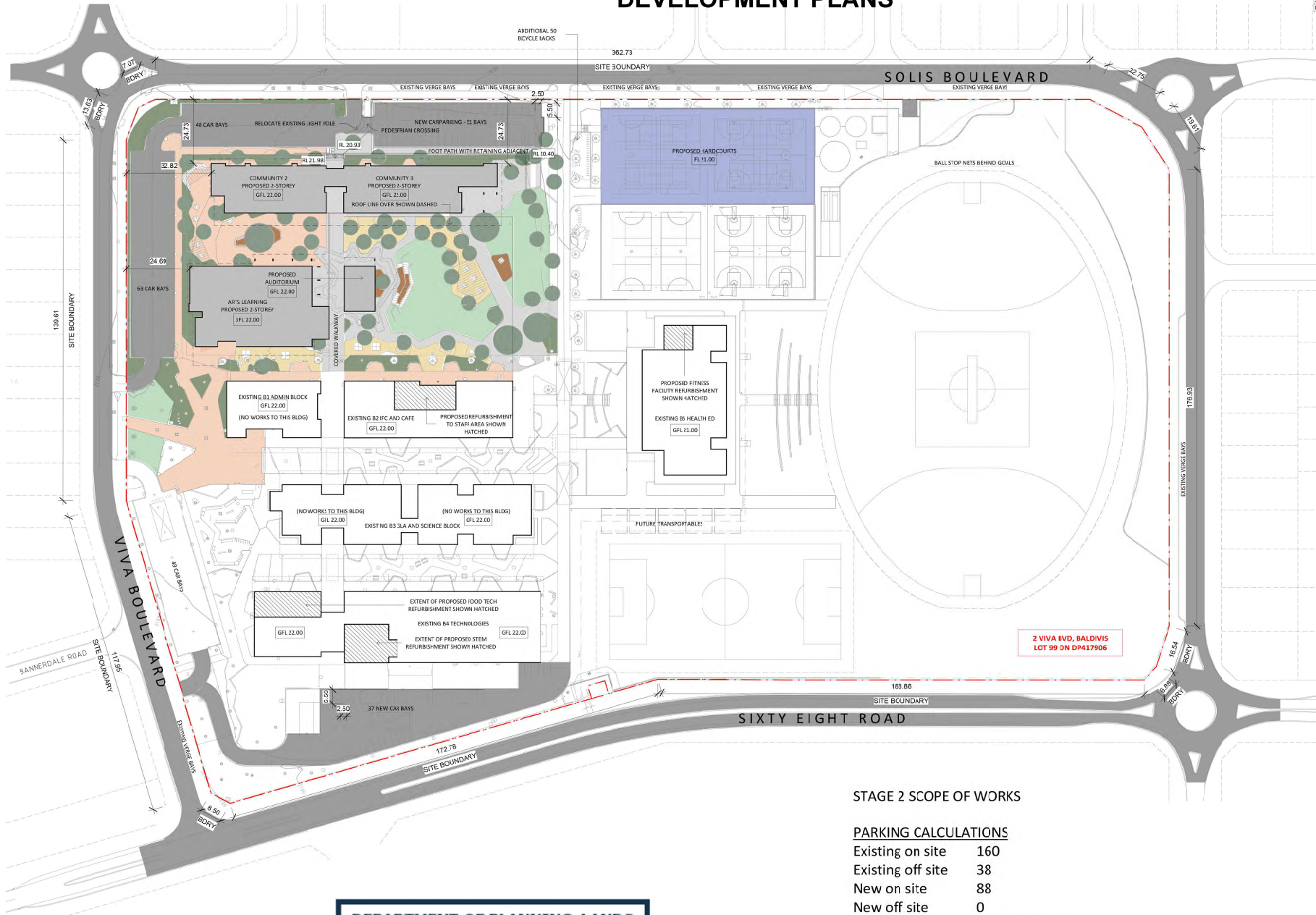
AERIAL IMAGE



SOUTH METROPOLITAN PEEL SUB-REGIONAL PLANNING FRAMEWORK

## DEVELOPMENT PLANS

REV	DESCRIPTION	DATE	APPR
A	Preliminary masterplan	05/03/2020	BA
B	Onsite carparking amended	16/04/2020	BA
C	ISSUED FOR DISCUSSION	25/05/20	BA
D	ISSUED FOR DISCUSSION	05/06/20	BA
E	ISSUED FOR DISCUSSION	06/06/20	BA
F	ISSUED FOR DISCUSSION	25/06/20	BA
G	ISSUED TO CONSULTANTS	24/06/20	BA
H	ISSUED FOR SD DRAFT	06/07/20	BA
I	ISSUED FOR DA DRAFT	21/08/20	BA
J	ISSUED FOR DD DRAFT	24/08/20	BA
K	ISSUED FOR DA	03/09/20	BA



### STAGE 2 SCOPE OF WORKS

#### PARKING CALCULATIONS

Existing on site	160
Existing off site	38
New on site	88
New off site	0
SUBTOTAL	248 + 38 off site
TOTAL PROPOSED	286

### MASTERPLAN

DA01 Rev K 1 : 750 @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

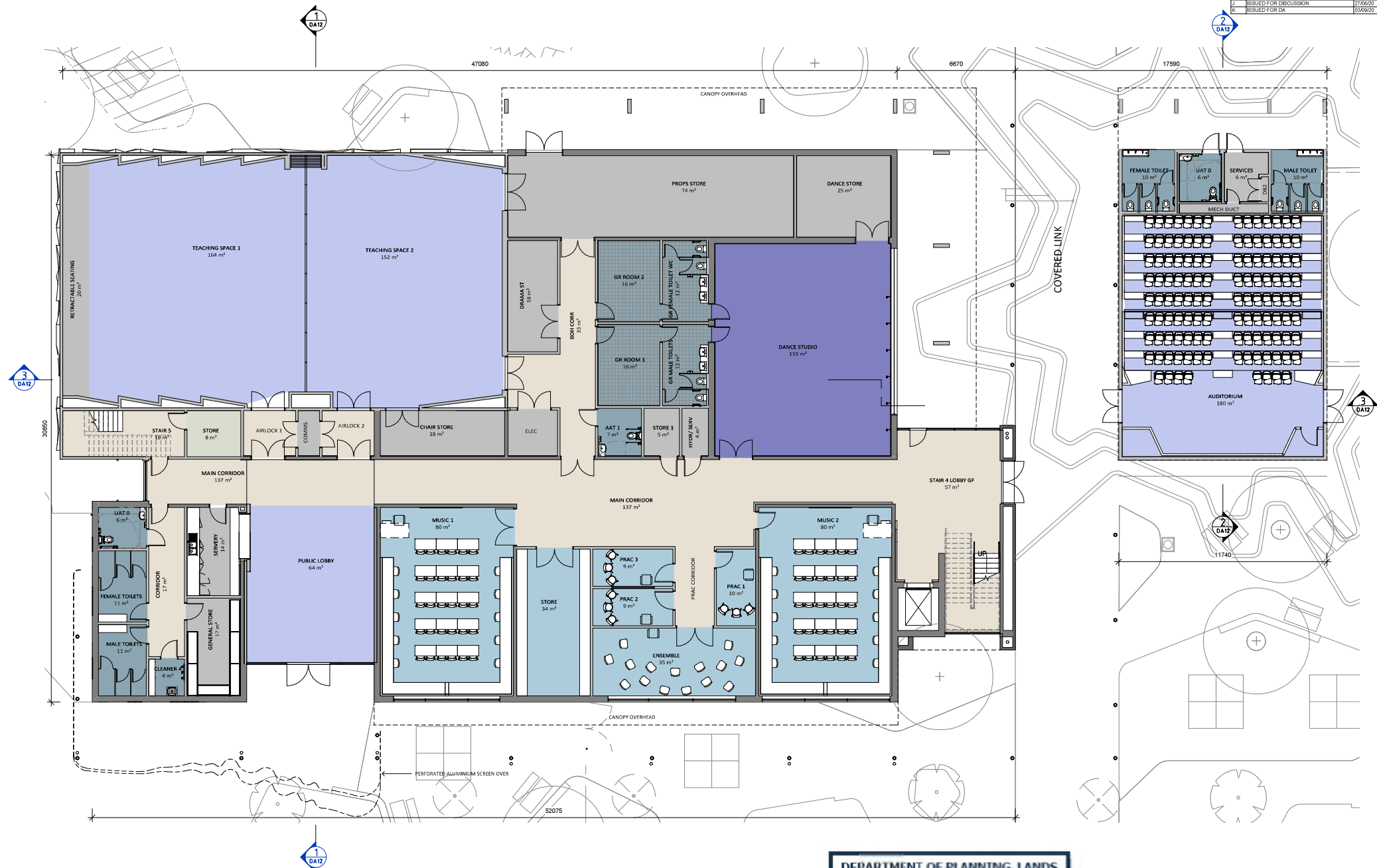
DEPARTMENT OF PLANNING, LANDS  
AND HERITAGE

DATE  
07-Sep-2020

FILE  
28-50197-2



REV	DESCRIPTION	DATE	APPR
A	ISSUED FOR DISCUSSION	25/06/20	BA
B	ISSUED FOR DISCUSSION	25/06/20	BA
C	PCG MEETING	23/06/20	BA
D	ISSUED TO CONSULTANTS	24/06/20	BA
E	ISSUED TO CONSULTANTS	25/06/20	BA
F	PCG MEETING	02/07/20	BA
G	ISSUED FOR 3D DRAFT	06/07/20	BA
H	ISSUED FOR DA DRAFT	21/08/20	BA
I	ISSUED FOR 3D DRAFT	24/08/20	BA
J	ISSUED FOR DISCUSSION	27/09/20	BA
K	ISSUED FOR DA	03/09/20	BA



# ARTS GROUND FLOOR PLAN

DA10 Rev K 1 : 100 @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
07-Sep-2020	28-50197-2



**Bateman**  
Architects

35 Northwood Street, West Leederville, W.A. 6007  
Tel: (08) 9382 8220 Fax: (08) 9382 8229  
www.batemanarchitects.biz

REV	DESCRIPTION	DATE	APPR
A	ISSUED FOR SD DRAFT	06/07/20	BA
B	ISSUED FOR DA DRAFT 1	27/08/20	BA
C	ISSUED FOR DD DRAFT	24/08/20	BA
D	ISSUED FOR DISCUSSION	27/08/20	BA
E	ISSUED FOR DA	03/09/20	BA



# ARTS FIRST FLOOR PLAN

DA11 Rev E 1 : 100 @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

DEPARTMENT OF PLANNING, LANDS  
AND HERITAGE

DATE 07-Sep-2020 FILE 28-50197-2



**Bateman**  
Architects

35 Northwood Street, West Leederville, W.A. 6007  
Tel: (08) 9382 8220 Fax: (08) 9382 8228  
www.batemanarchitects.biz

REV	DESCRIPTION	DATE	APPR
A	ISSUED FOR SD DRAFT	06/07/20	BA
B	ISSUED FOR DA DRAFT	27/06/20	BA
C	ISSUED FOR DD DRAFT	24/08/20	BA
D	ISSUED FOR DISCUSSION	27/06/20	BA
E	ISSUED FOR DA	03/09/20	BA



**SD SECTION - AUDITORIUM**  
SCALE 1:100



**SD SECTION - ARTS**  
SCALE 1:100



**SD SECTION ARTS 2**  
SCALE 1:100

## ARTS SECTIONS

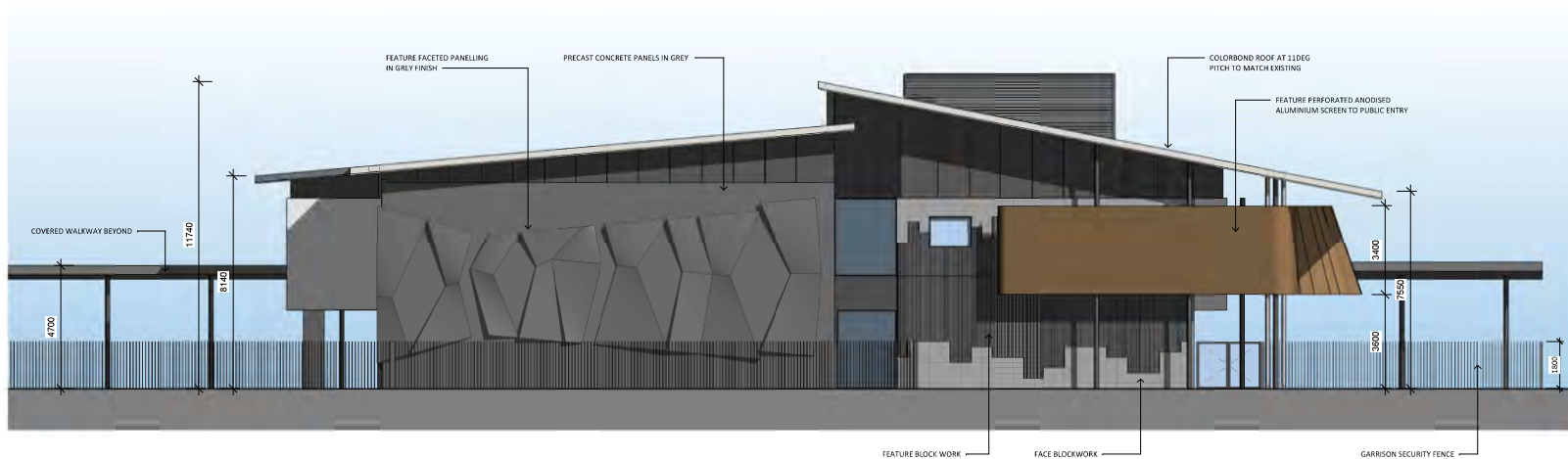
DA12 Rev E      1 : 100 @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
07-Sep-2020	28-50197-2



**Bateman**  
Architects  
35 Northwood Street, West Leederville, W.A. 6007  
Tel: (08) 9362 8220 Fax: (08) 9362 8228  
www.batemanarchitects.biz

REV	DESCRIPTION	DATE	APPR
A	PCO MEETING	02/07/20	BA
B	ISSUED FOR SD DRAFT	06/07/20	BA
C	ISSUED FOR DA DRAFT	21/08/20	BA
D	ISSUED FOR CD DRAFT	24/08/20	BA
E	ISSUED FOR DISCUSSION	27/08/20	BA
F	ISSUED FOR DA	03/09/20	BA

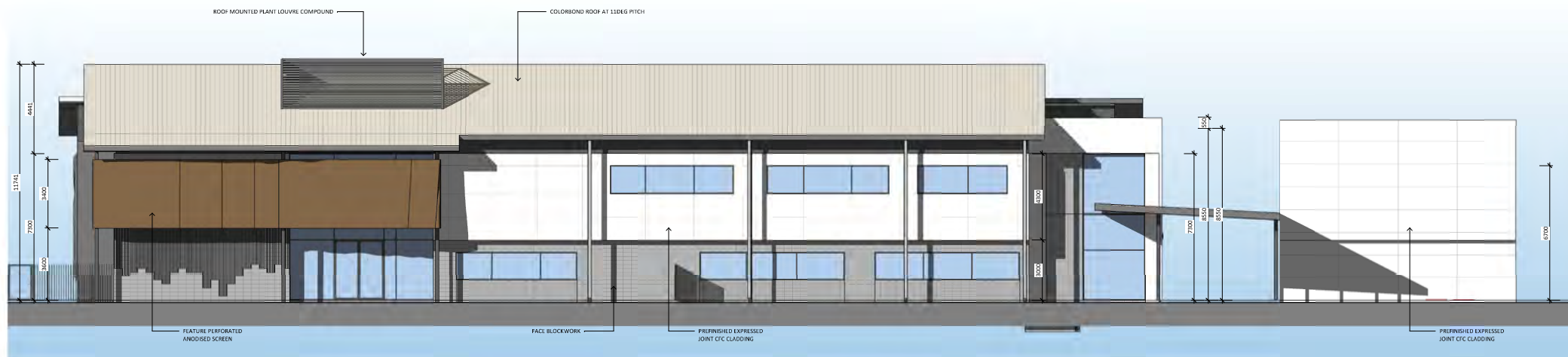


SD ARTS - WEST ELEVATION  
SCALE 1 : 100

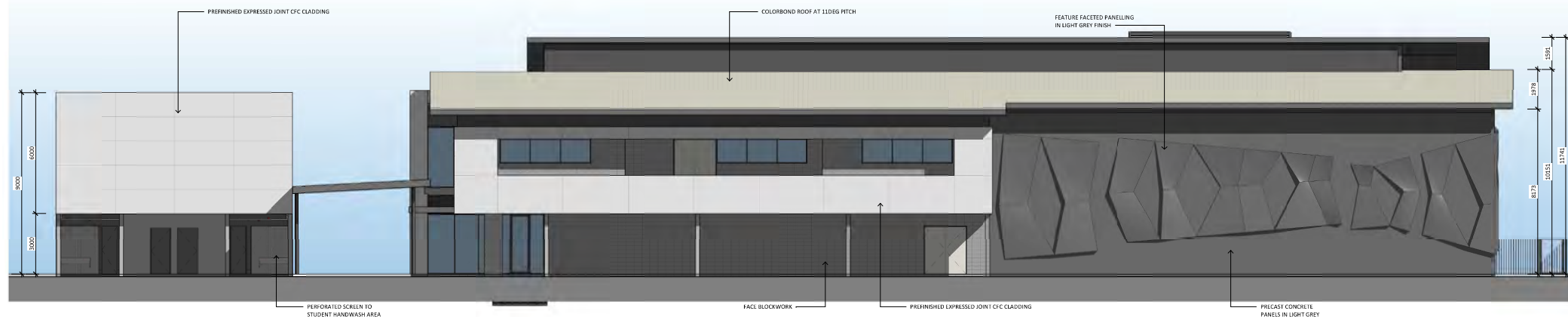


SD ARTS - EAST ELEVATION  
SCALE 1 : 100

REV	DESCRIPTION	DATE	APPR
A	ISSUED FOR SD DRAFT	06/07/20	BA
B	ISSUED FOR DA DRAFT	27/08/20	BA
C	ISSUED FOR DD DRAFT	24/08/20	BA
D	ISSUED FOR DISCUSSION	27/08/20	BA
E	ISSUED FOR I.A.	03/09/20	BA



**SD ARTS - SOUTH ELEVATION**  
SCALE 1:100



**SD ARTS - NORTH ELEVATION**  
SCALE 1:100

## ARTS ELEVATIONS 2 OF 2

DA14 Rev E      1 : 100 @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

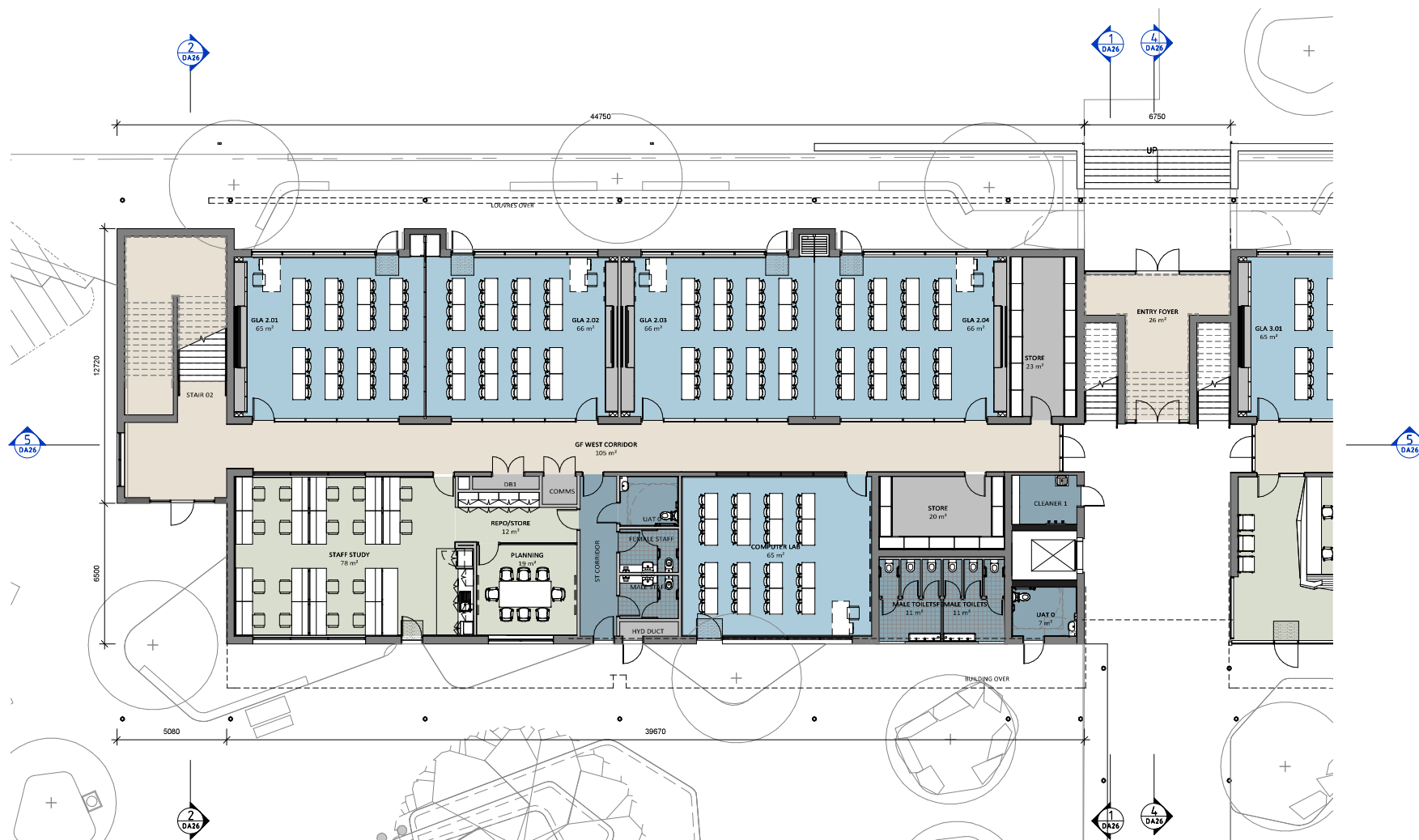
DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
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**Bateman**  
Architects  
35 Northwood Street, West Leederville, W.A. 6007  
Tel: (08) 9362 8220 Fax: (08) 9362 8228  
www.batemanarchitects.biz



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C	ISSUED FOR DD DRAFT	24/08/20	BA
D	ISSUED FOR DISCUSSION	27/08/20	BA
E	ISSUED FOR DA	03/09/20	BA



## COMMUNITY 2 GROUND FLOOR PLAN

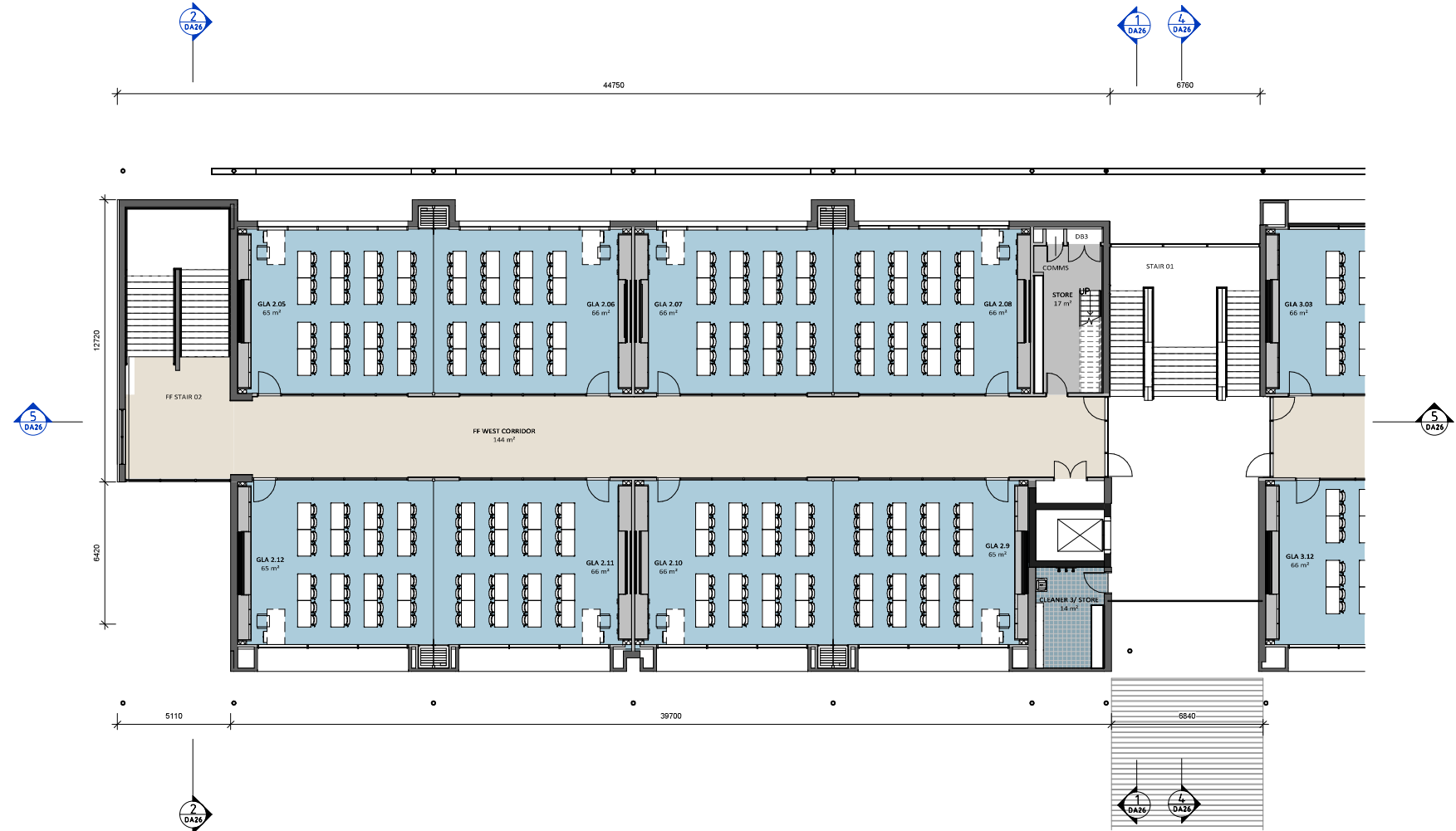
DA20 Rev E 1 : 100 @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 07-Sep-2020	FILE 28-50197-2



**Bateman**  
Architects  
35 Northwood Street, West Leederville, W.A. 6007  
Tel: (08) 9382 8220 Fax: (08) 9382 8228  
www.batemanarchitects.biz

REV	DESCRIPTION	DATE	APPR
A	ISSUED FOR DD DRAFT	24/06/20	BA
B	ISSUED FOR DISCUSSION	27/06/20	BA
C	ISSUED FOR DA	03/09/20	BA



# COMMUNITY 2 FIRST FLOOR PLAN

DA21 Rev C      1 : 100 @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

DEPARTMENT OF PLANNING, LANDS  
AND HERITAGE

DATE  
07-Sep-2020

FILE  
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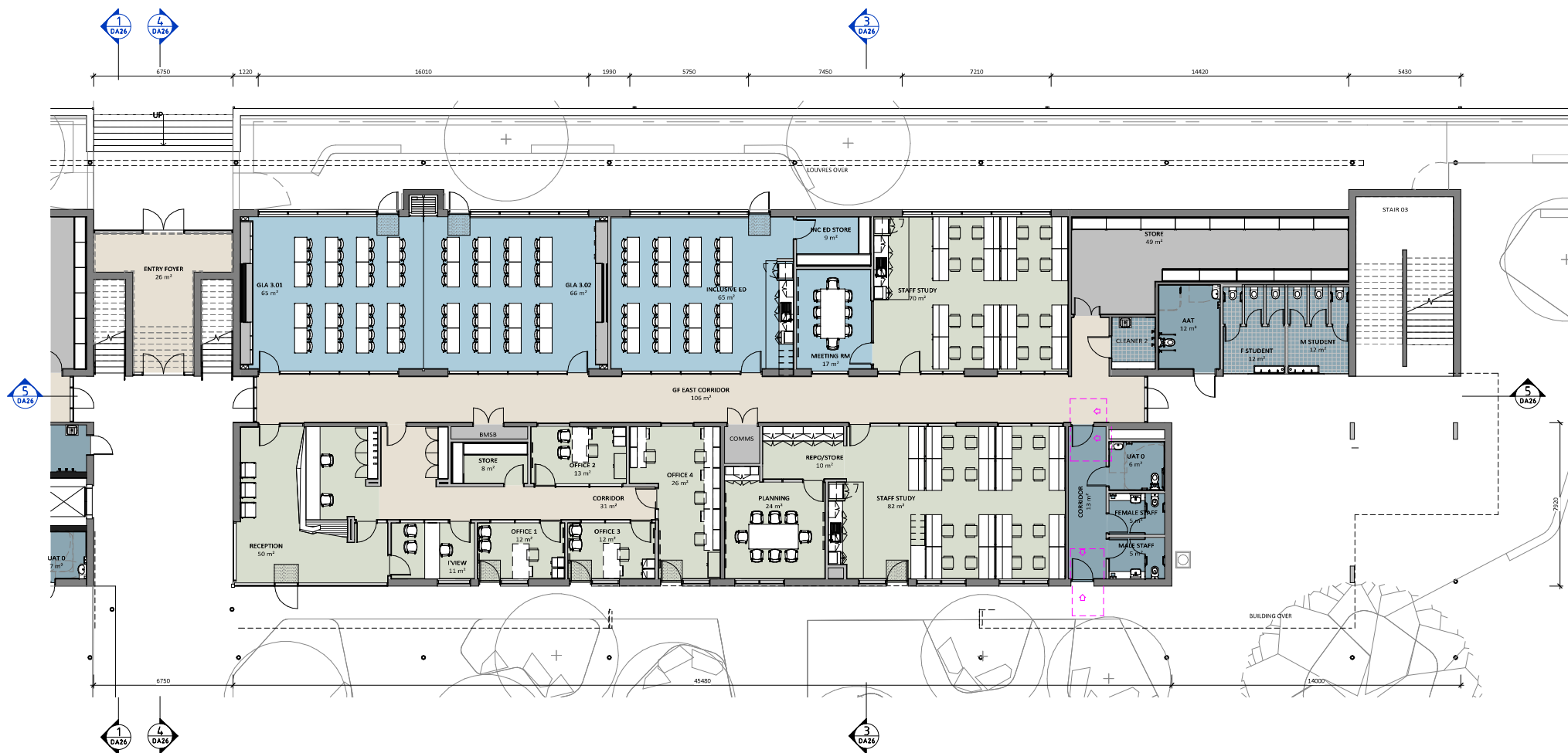


NORTH

Bateman  
Architects

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www.batemanarchitects.biz

REV	DESCRIPTION	DATE	APPR
A	ISSUED FOR SD DRAFT	06/07/20	BA
B	ISSUED FOR DA DRAFT	27/09/20	BA
C	ISSUED FOR DD DRAFT	24/08/20	BA
D	ISSUED FOR DISCUSSION	27/08/20	BA
E	ISSUED FOR DA	03/09/20	BA



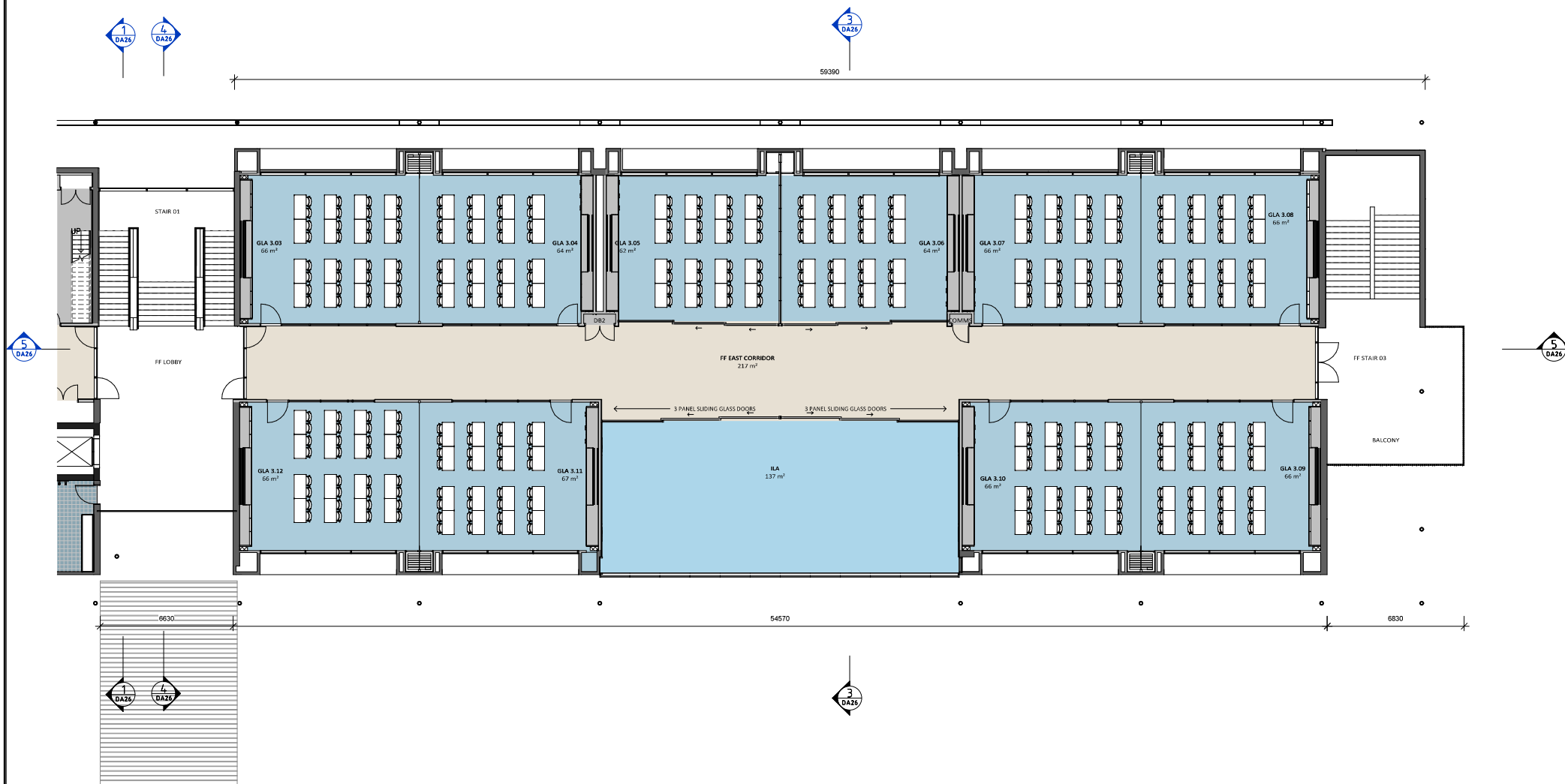
## COMMUNITY 3 GROUND FLOOR PLAN

DA22 Rev E 1 : 100 @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 07-Sep-2020	FILE 28-50197-2



REV	DESCRIPTION	DATE	APPR
A	ISSUED FOR SD DRAFT	06/07/20	BA
B	ISSUED FOR DA DRAFT	27/09/20	BA
C	ISSUED FOR DD DRAFT	24/08/20	BA
D	ISSUED FOR DISCUSSION	27/08/20	BA
E	ISSUED FOR I.A.	03/09/20	BA



# COMMUNITY 3 FIRST FLOOR PLAN

DA23 Rev E 1 : 100 @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 07-Sep-2020	FILE 28-50197-2



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Architectural elevation drawing of a building facade. The drawing includes the following callouts and dimensions:

- Dimensions:**
  - Overall height: 12400
  - Section height 1: 8170
  - Section height 2: 4700
  - Section height 3: 8240
- Material Callouts:**
  - COLORBOND ROOF AT 13.06% PITCH TO MATCH EXISTING
  - POWDERCOATED LOUVRE MECHANICAL PLANT DECK
  - COLORBOND ROOF AT 5.06% PITCH
  - FACE BLOCKWORK
  - PREFINISHED EXPRESSLO JOINT CFC CLADDING

POWDERCOATED ALUMINIUM LOUVRE SUN SHADING

SURFARIST COLORBOND ROOF AT 11DEG PITCH TO MATCH EXISTING

PREFINISHED EXPRESSED JOINT CFC CLADDING

FULL HEIGHT GLAZED ENTRY OVER TWO LEVELS

FACE BLOCKWORK

FEATURE BLOCKWORK BELOW WINDOW SILLS

PREFINISHED CFC RAISING WINDOW SILLS

COLORBOND ROOF AT SOEG PITCH

PREFINISHED EXPRESSED JOINT CFC CLADDING

POWDERCOATED LOUVRES TO MECHANICAL PLANT

FACE BLOCKWORK

FEATURE BLOCKWORK BELOW WINDOW SILLS

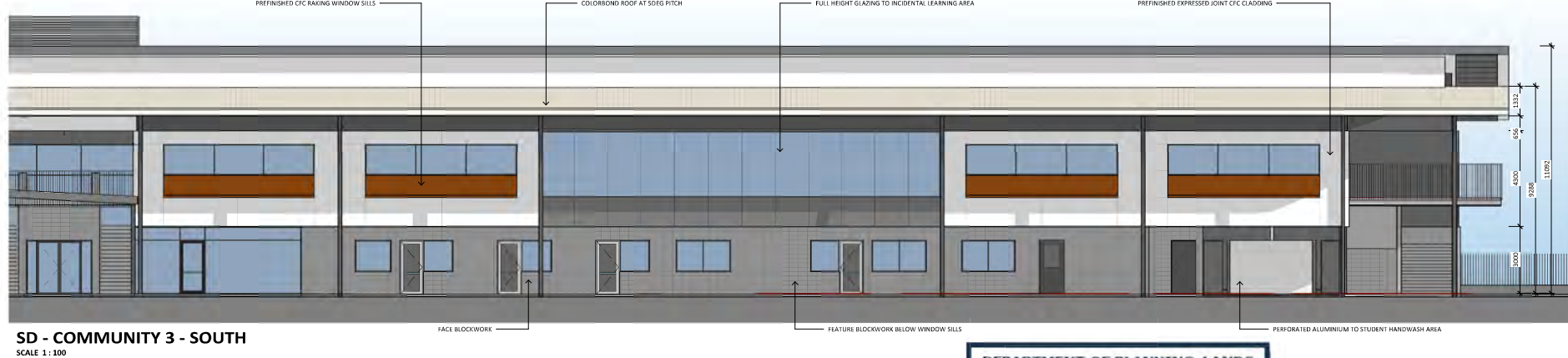
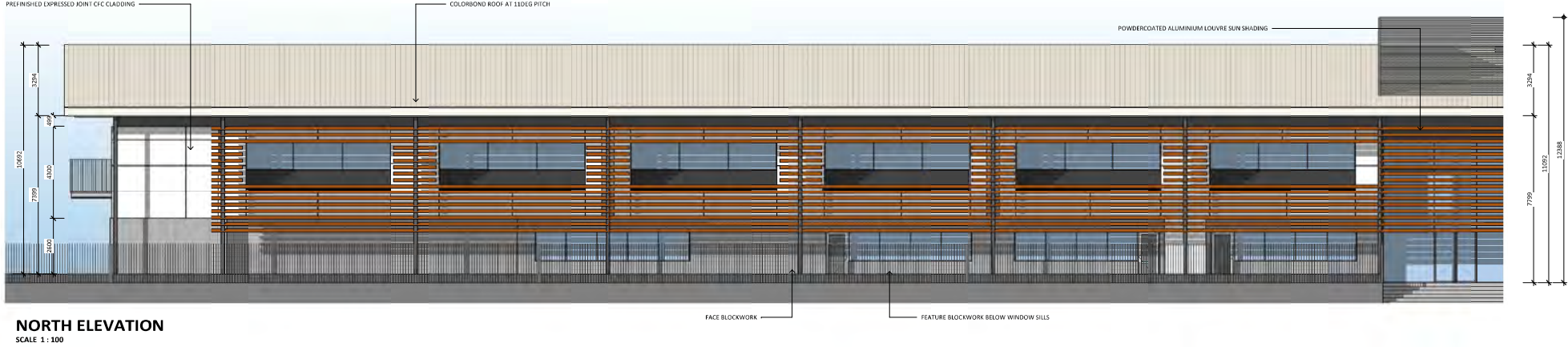
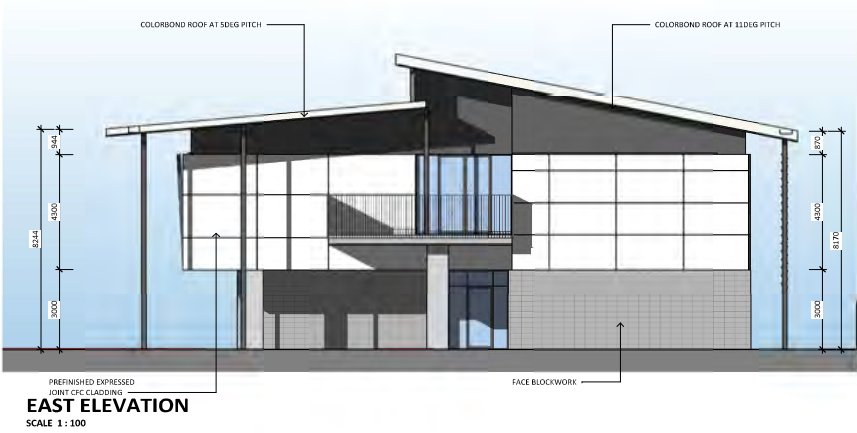
PERFORATED ALUMINIUM TO STUDENT HANDICAP AREA

**SOUTH ELEVATION**

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REV	DESCRIPTION	DATE	APPR
A	ISSUED FOR SD DRAFT	06/07/20	BA
B	ISSUED FOR DA DRAFT	27/06/20	BA
C	ISSUED FOR DD DRAFT	24/08/20	BA
D	ISSUED FOR DISCUSSION	27/08/20	BA
E	ISSUED FOR I.A.	03/09/20	BA



COMMUNITY 3 ELEVATIONS

DA25 Rev E 1 : 100 @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

DEPARTMENT OF PLANNING, LANDS  
AND HERITAGE

DATE 07-Sep-2020

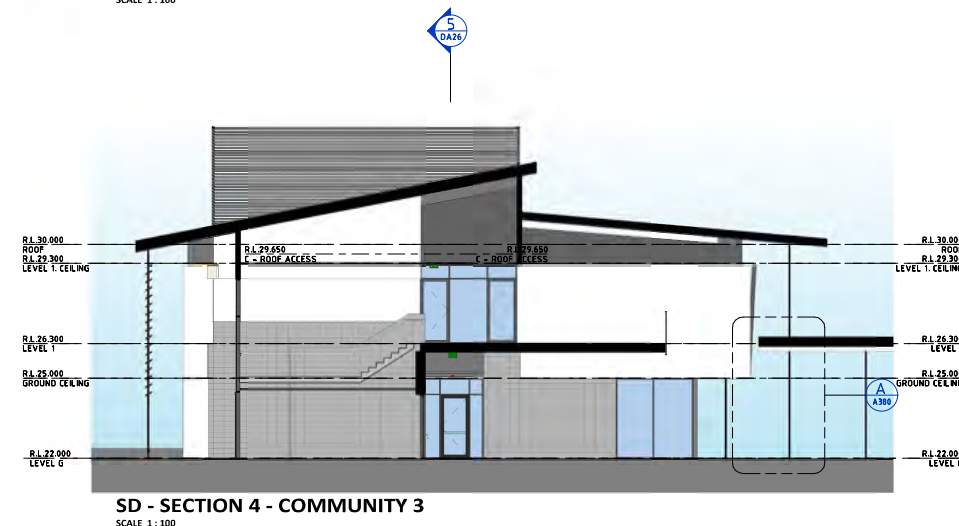
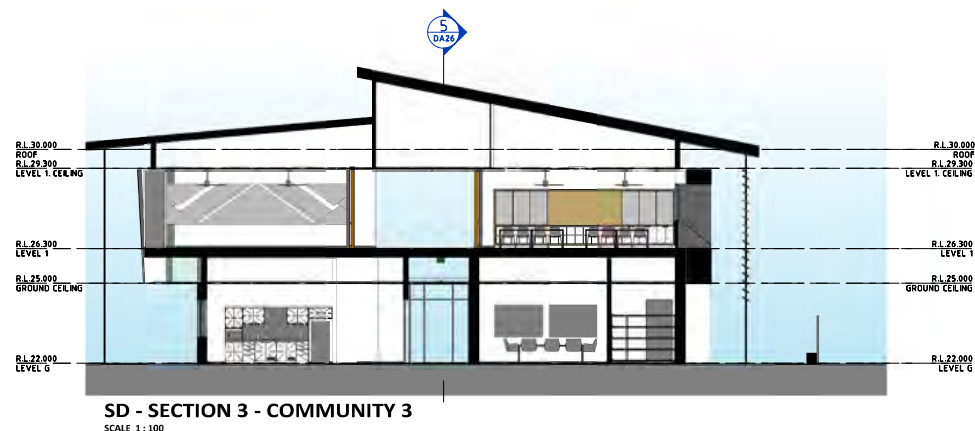
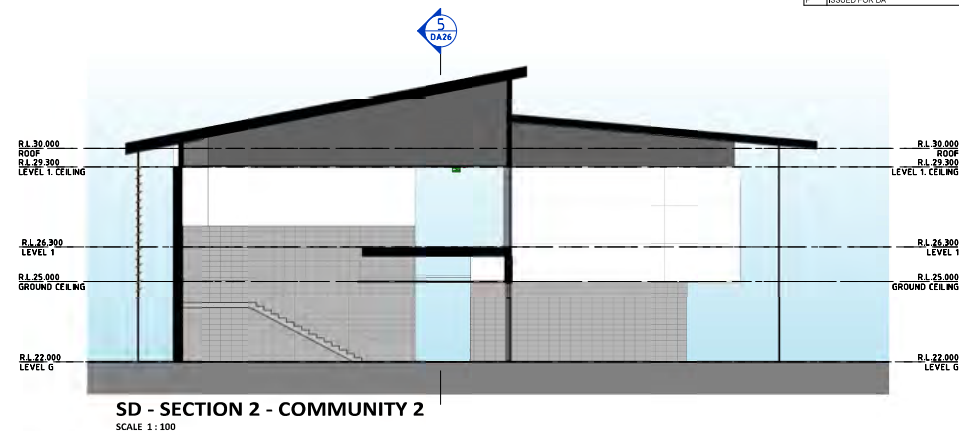
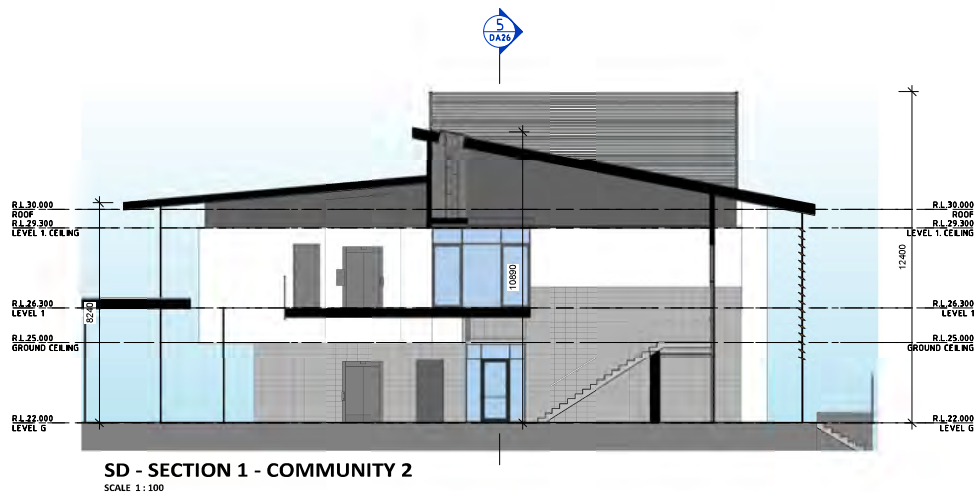
FILE 28-50197-2



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REV	DESCRIPTION	DATE	APPR
A	ISSUED TO CONSULTANTS	24/09/20	BA
B	ISSUED FOR SD DRAFT	06/07/20	BA
C	ISSUED FOR DA DRAFT	21/08/20	BA
D	ISSUED FOR SD DRAFT	24/09/20	BA
E	ISSUED FOR DISCUSSION	27/09/20	BA
F	ISSUED FOR DA	03/09/20	BA



## COMM 2 & 3 SECTIONS

DA26 Rev F As indicated @ A1  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3

DEPARTMENT OF PLANNING, LANDS  
AND HERITAGE

DATE  
07-Sep-2020

FILE  
28-50197-2



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REV	DESCRIPTION	DATE	APPR
A	ISSUED FOR DA DRAFT	21/06/20	BA
B	ISSUED FOR DISCUSSION	27/06/20	BA
C	ISSUED FOR DA	03/09/20	BA



ARTS SOUTHWEST ENTRY

**3D PERSPECTIVES**  
 DA60 Rev C @ A1  
 RIDGE VIEW SEC. COLLEGE - STAGE 2/3

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
07-Sep-2020	28-50197-2

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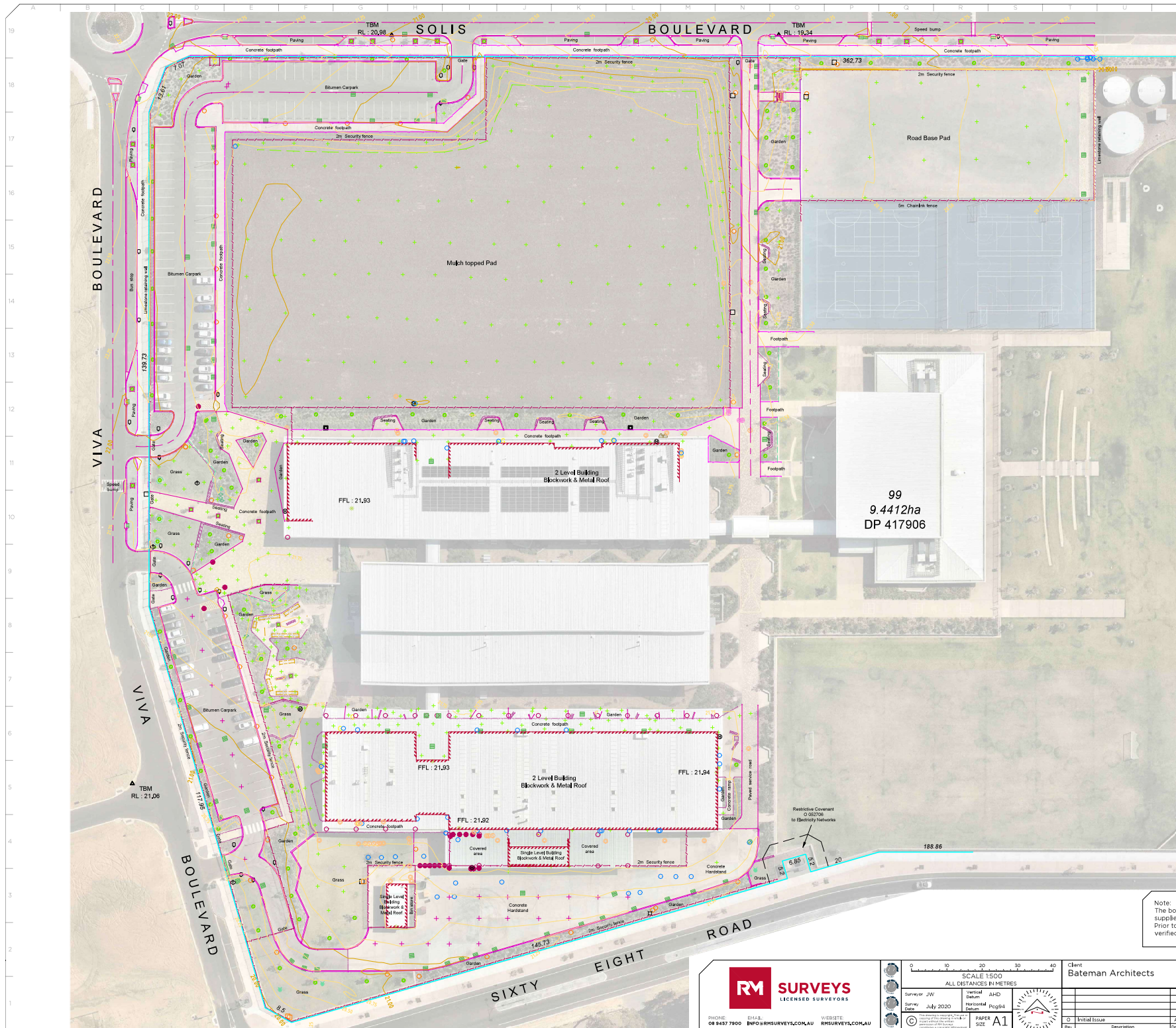


REV	DESCRIPTION	DATE	APPR
A	ISSUED FOR DA DRAFT	01/06/20	BA
B	ISSUED FOR DISCUSSION	07/06/20	BA
C	ISSUED FOR DA	03/09/20	BA



COMMUNITY NORTHEAST





DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
07-Sep-2020	28-50197-2

### LEGEND

-  TBM
-  Net Surface Pit
-  Tree
-  Telescope Pit
-  Manhole
-  Comms Pit
-  Gas Valve
-  Water Stop
-  Hydrant Ground
-  Retic Control Valve
-  Irrigation Control Box
-  Irrigation Pit
-  Lamp Post
-  Drainage MH (Centre)
-  Drainage Grate
-  Side Entry Pit
-  Sewer Manhole
-  Sewer Riser/Inspection
-  Grease Trap
-  Unknown Pit
-  Columns
-  Bollard
-  Floor Level
-  Litter Bin
-  Sign - Single Pole

## LINE TYPES




- |  |                |
|--|----------------|
|  | Road C/L       |
|  | Bottom of Kerb |
|  | Top of Kerb    |
|  | Unsealed Road  |
|  | Brick Paving   |
|  | Ramp           |
|  | Footpath       |
|  | Edge of Cont.  |
|  | Bike Racks     |
|  | Garden         |
|  | Top Of Bank    |
|  | Retaining Wall |
|  | Fence          |
|  | Building Line  |
|  | Stairs         |
|  | Handrail       |
|  | Boundary       |
|  | Easement       |
|  | Drainage Grate |

## Subsurface Utility Information

Present on this drawing?	Method of Location	Classification of Location	Importance of B-Change
	DBPR files or unknown source	Quality "B" - Low	High
	Visual identification	Quality "C" - Medium	High
	Police Contact and marked DBPR/DBPS	Quality "D" - High	Medium
	Online purchase and review/lookup or purchased as provided	Quality "A" - Medium	Low

Note:  
This drawing does not show all database utilization, Current Data Before You Dig (DBYD) information shown is obtained from database sources.

Note:  
The boundary positions on this plan were obtained from digital data supplied by Landgate, and were not re-established as part of this survey. Prior to any structure or feature modification, the boundaries should be verified by a boundary re-establishment survey.

	 SCALE 1:500 ALL DISTANCES IN METRES	Client <b>Bateman Architects</b>	<b>FEATURE AND CONTOUR SURVEY</b> Ridge View Secondary College Sixty Eight Road Baldvis																													
	Surveyor J.W. Date July 2020 Vertical Datum AHD Horizontal Datum PGSD Paper Size A1 	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;"> </td> <td style="width: 25%;"> </td> <td style="width: 25%;"> </td> <td style="width: 25%;"> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>																		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%;"> </td> <td style="width: 33%;"> </td> <td style="width: 33%;"> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>												
Job No. <b>BATE-RIDGE</b>		Drawing No. <b>BATE-RIDGE-01</b>		Revision <b>0</b>																												

## DRAWING INDEX

DRAWING No.	DRAWING TITLE
C.01	STAGE 2 COVER SHEET AND DRAWING INDEX
C.02	STAGE 2 LOCALITY PLAN
C.05	STAGE 2 GENERAL ARRANGEMENT
C.10	STAGE 2 NORTHERN CARPARK LAYOUT
C.11	STAGE 2 SOUTHERN CARPARK LINEMARKING PLAN
C.12	STAGE 2 SOLUS BOULEVARD ON-STREET PARKING
C.13	STAGE 2 VERDANT APPROACH ON-STREET PARKING
C.20	STAGE 2 DRAINAGE PLAN



Government of Western Australia  
Department of Finance  
Building Management and Works

## RIDGE VIEW SECONDARY COLLEGE - STAGE 2 CIVIL WORKS 2020 COVER SHEET AND DRAWING INDEX

CIVIL

SET No.	TENDER NUMBER	VOL.	OF
---------	---------------	------	----

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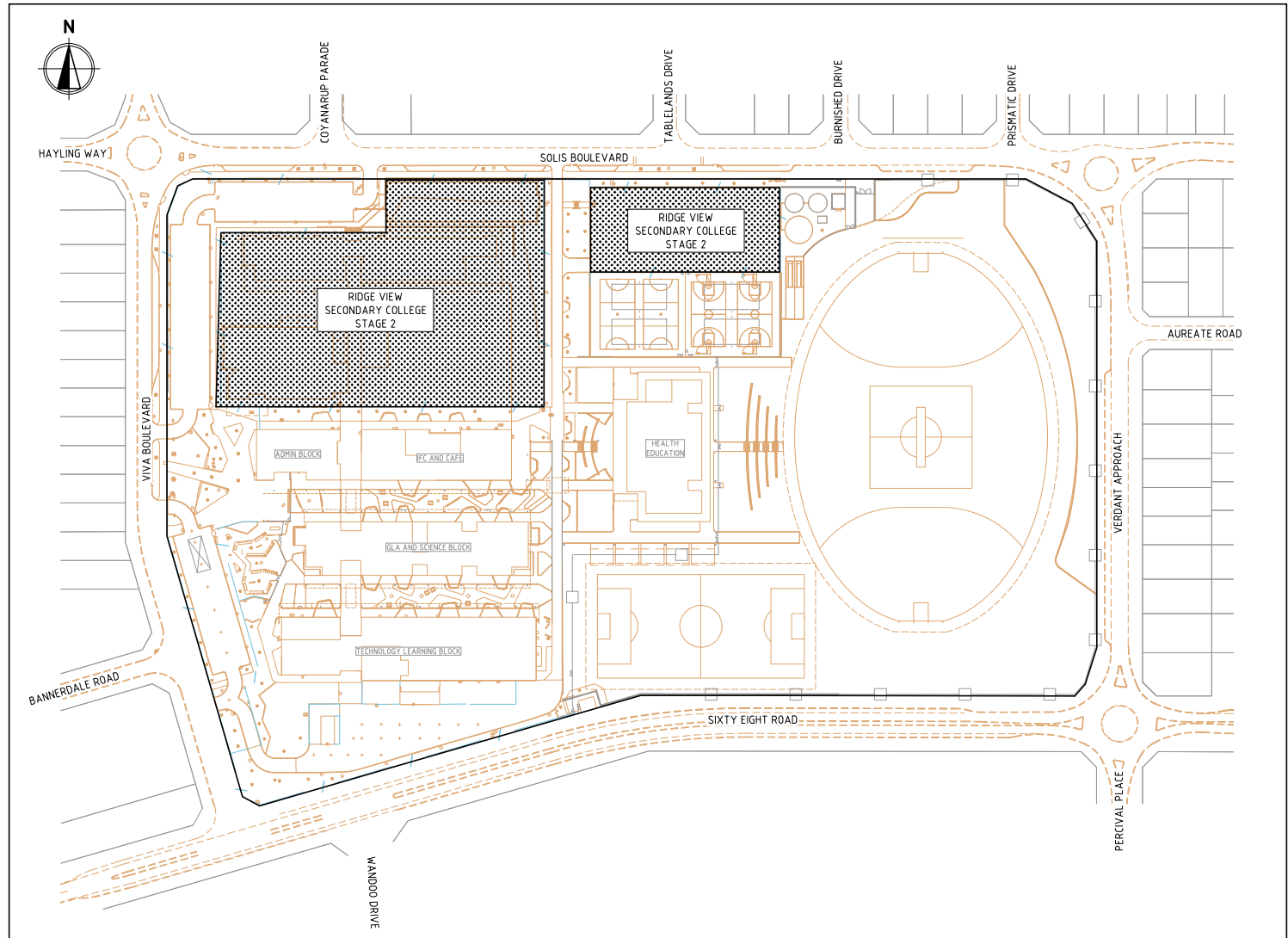


TENDERS CLOSE:

DEPARTMENT OF PLANNING, LANDS  
AND HERITAGE

DATE	FILE
07-Sep-2020	28-50197-2

# RIDGE VIEW SECONDARY COLLEGE STAGE 2



REV	DATE	DESCRIPTION	REVISIONS
B	21.08.20	ISSUED FOR REVIEW	CB
A	29.06.20	ISSUED FOR SCHEMATIC DESIGN	CB

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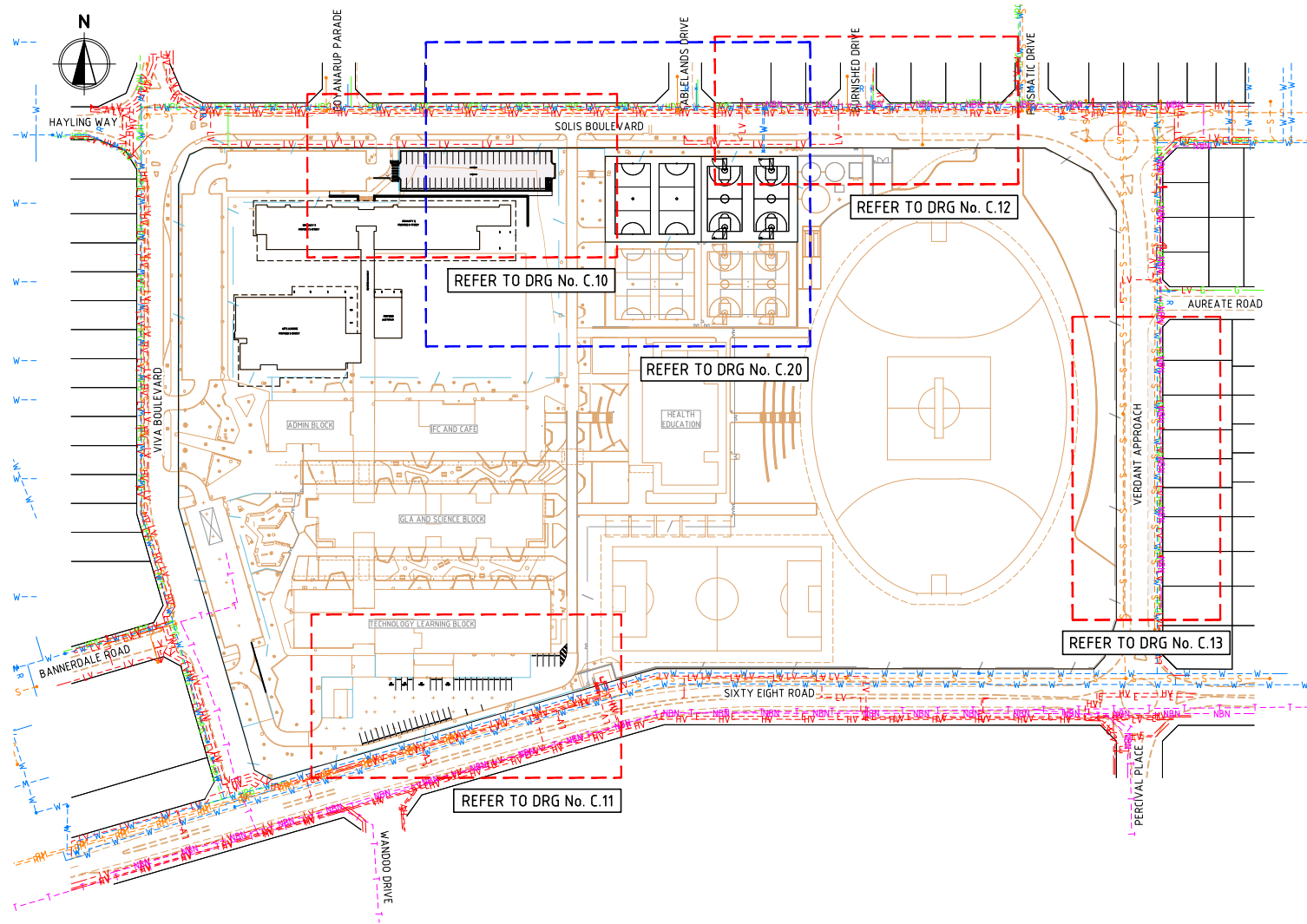


**RIDGE VIEW SECONDARY COLLEGE  
STAGE 2  
LOCALITY PLAN**

DRAWN	DESIGNED	REDUCED
J5	J5	
CHECKED	HH	PRINCIPAL
APPROVED	CB	
SCALE	DATE	DRAWING No.
1:1000	15.06.20	
BPM PROJ No.	BPM FILE No.	
		C.02 B

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DO NOT AMEND MANUALLY





- NOTES**
1. DO NOT SCALE DRAWINGS.
  2. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.

- LEGEND**
- CADASTRAL BOUNDARY
  - HPG — EXISTING GAS PIPELINE - HIGH PRESSURE
  - LV — EXISTING POWER CABLE - LOW VOLTAGE
  - HV — EXISTING POWER CABLE - HIGH VOLTAGE
  - E — E — EXISTING POWER CABLE - UNKNOWN VOLTAGE
  - T — T — EXISTING TELSTRA CABLE
  - NBN — EXISTING NBN CABLE
  - S — S — EXISTING SEWER GRAVITY PIPE
  - RM — EXISTING SEWER PRESSURE MAIN
  - W — W — EXISTING WATER MAIN
  - G — G — PROPOSED GAS PIPELINE - UNKNOWN PRESSURE



REV	DATE	DESCRIPTION	REVISIONS
B	21.08.20	ISSUED FOR REVIEW	CB
A	29.06.20	ISSUED FOR SCHEMATIC DESIGN	CB

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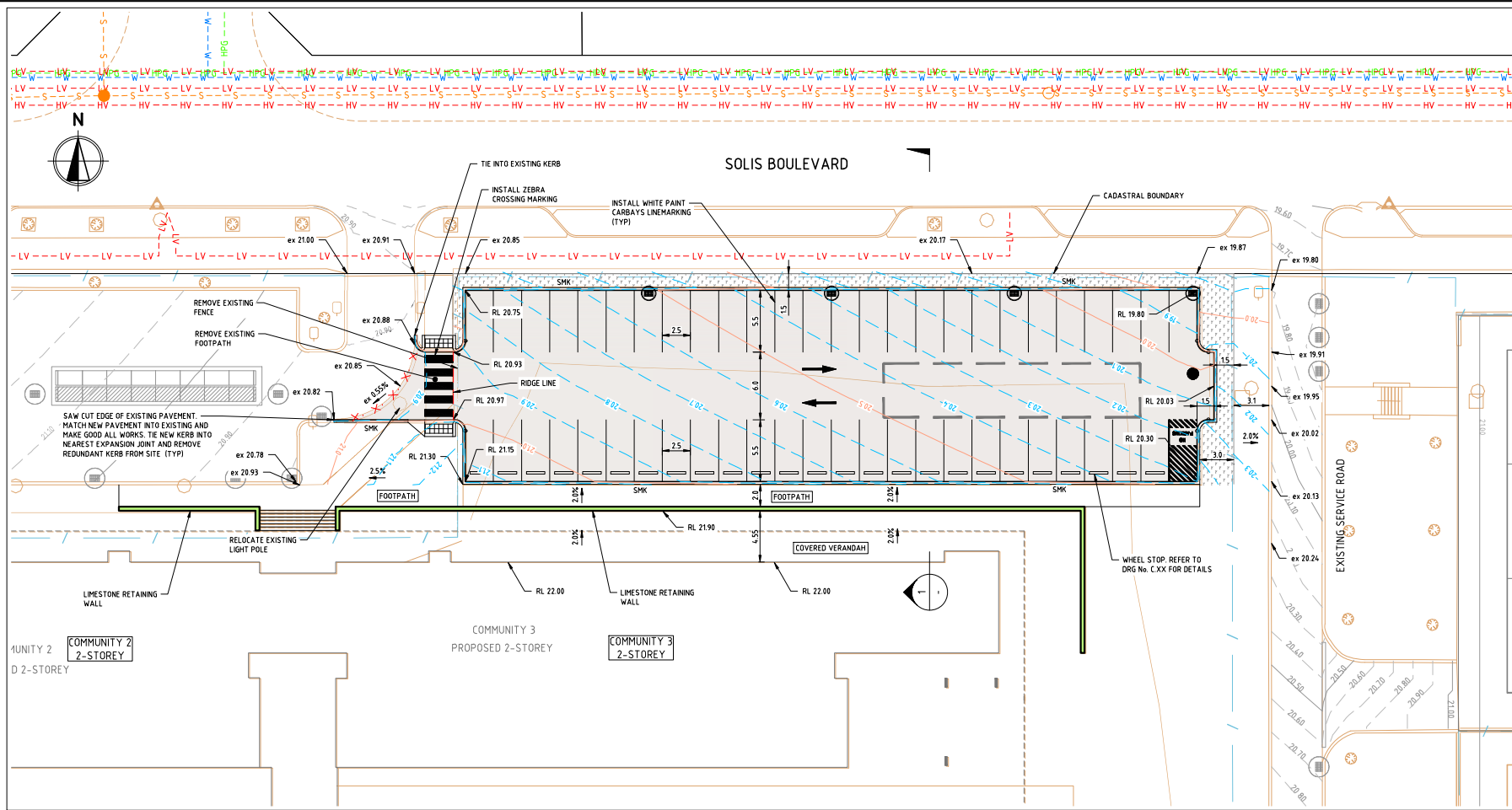
**RIDGE VIEW SECONDARY COLLEGE**  
STAGE 2  
GENERAL ARRANGEMENT

DRAWN	JS	DESIGNED	LG	REDUCTION
CHECKED	HH	PRINCIPAL		0 10 20 30 40 50 60m
APPROVED	CB			SCALE 1:1000
SCALE	1:1000	DATE	15.06.20	DRAWING No. C.05 B
BPM PROJ No.		BPM FILE No.		

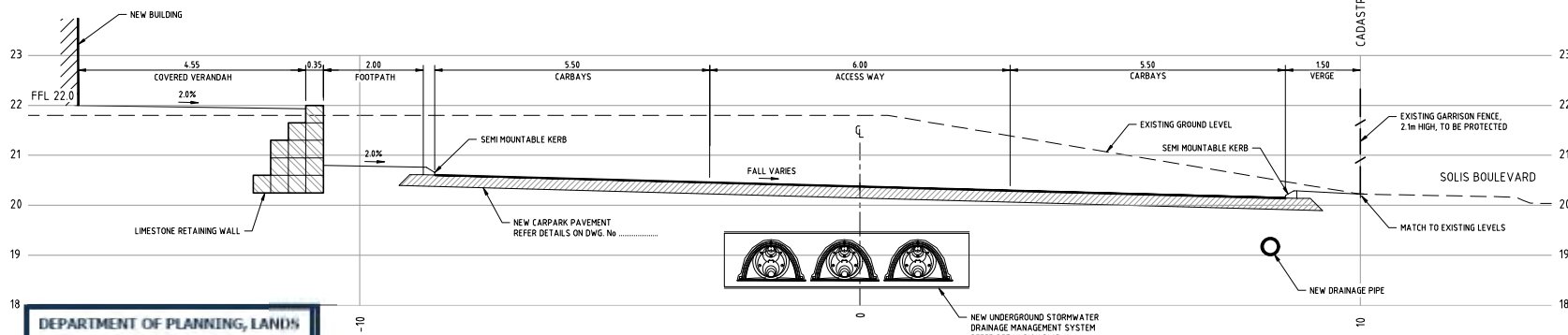
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**DEPARTMENT OF PLANNING, LANDS AND HERITAGE**

DATE	FILE
07-Sep-2020	28-50197-2



PLAN  
SCALE 1:200



SECTION  
SCALE 1:50

## NOTES

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
- REFER TO DRG No. C.20 FOR DRAINAGE PIPE INFORMATION.

## LEGEND

- CADASTRAL BOUNDARY
- SMK SEMI-MOUNTABLE KERB
- 30.00 EXISTING CONTOURS - MAJOR
- 30.40 EXISTING CONTOURS - MINOR
- 21.0 DESIGN CONTOURS - MAJOR
- 20.9 DESIGN CONTOURS - MINOR
- RL 20.30 DESIGN SPOT LEVELS
- NEW PAVEMENT
- KERB TO BE REMOVED
- PAVEMENT ARROW: REFER TO DRG No. C.XX FOR DETAILS
- WHEEL STOP
- GRADED GULLY PIT
- MANHOLE
- DRAINAGE TANK EXTENT
- EXISTING PIT - STAGE 1
- EXISTING STORMWATER PIPE - STAGE 1
- EXISTING STORMWATER TANK - STAGE 1
- EXISTING FENCE - STAGE 1
- EXISTING GATE - STAGE 1
- EXISTING RETAINING WALL - STAGE 1
- EXISTING GAS PIPELINE - HIGH PRESSURE
- EXISTING POWER CABLE - LOW VOLTAGE
- EXISTING POWER CABLE - HIGH VOLTAGE
- EXISTING SEWER GRAVITY PIPE
- EXISTING WATER MAIN



REV	DATE	DESCRIPTION	REVISIONS
B	21.06.20	ISSUED FOR REVIEW	CB
A	29.06.20	ISSUED FOR SCHEMATIC DESIGN	CB
REV	DATE	DESCRIPTION	RVD

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**RIDGE VIEW SECONDARY COLLEGE**  
STAGE 2  
NORTHERN CARPARK LAYOUT

DRAWN	JP	DESIGNED	LG	REDUCED
CHECKED	HH	PRINCIPAL		
APPROVED	CB			
SCALE	1:200 & 1:50	DATE	15.06.20	DRAWING No.
BPM PROJ No.		BPM FILE No.		C.10 B

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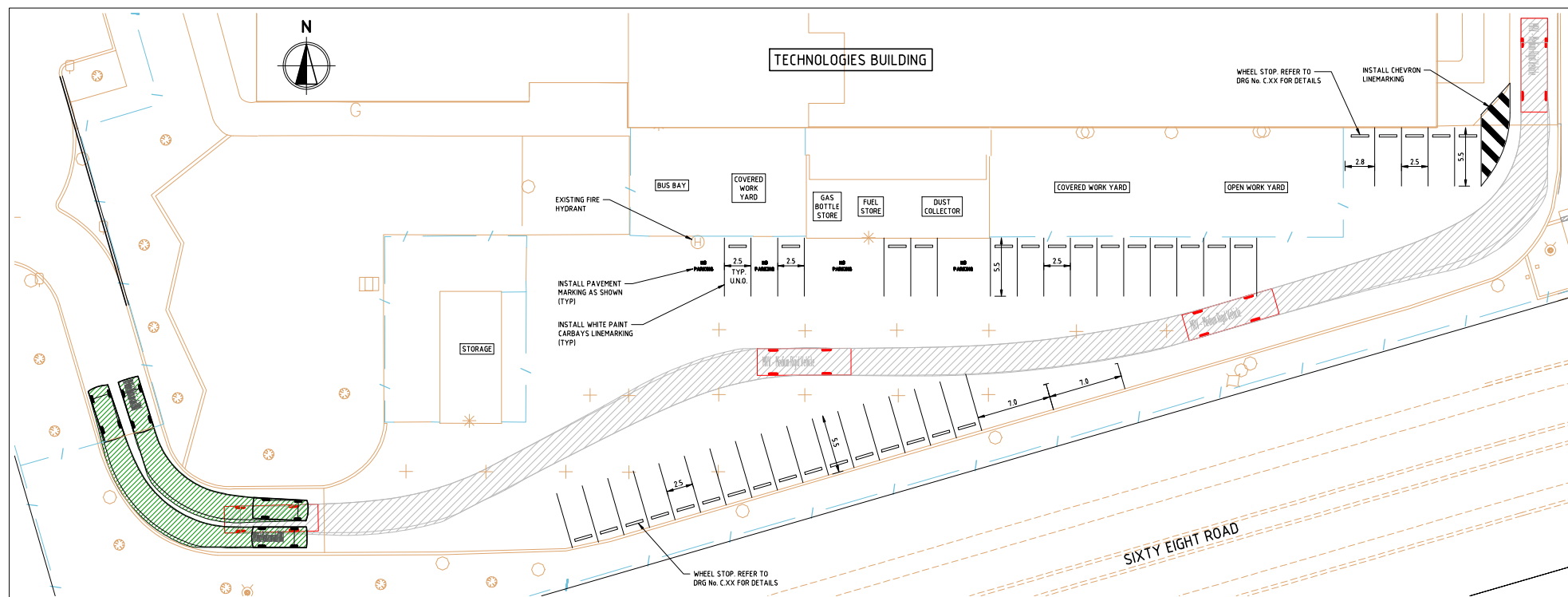
DATE 07-Sep-2020 FILE 28-50197-2

## NOTES

- DO NOT SCALE DRAWINGS.
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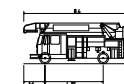
## LEGEND

	CADASTRAL BOUNDARY
	WHEEL STOP
	EXISTING FENCE - STAGE 1
	EXISTING GATE - STAGE 1
	EXISTING RETAINING WALL - STAGE 1



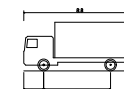
## PLAN

SCALE: 1:200



DPES Urban Pumper  
Overall Length 8.400m  
Overall Width 2.500m  
Overall Body Height 3.050m  
Min Body Ground Clearance 0.750m  
Track Width 2.450m  
Lock-to-Lock Time 4.00s  
Curb to Curb Turning Radius 7.750m

8.400m  
2.500m  
3.050m  
0.750m  
2.450m  
4.00s  
7.750m



MRV - Medium Rigid Vehicle  
Overall Length 8.800m  
Overall Width 2.500m  
Overall Body Height 3.633m  
Min Body Ground Clearance 0.650m  
Track Width 2.500m  
Lock-to-Lock Time 6.00s  
Curb to Curb Turning Radius 10.000m

8.800m  
2.500m  
3.633m  
0.650m  
2.500m  
6.00s  
10.000m

## DESIGN VEHICLES

SCALE: 1:200



REV	DATE	DESCRIPTION	REVISIONS
B	21.08.20	ISSUED FOR REVIEW	CB
A	29.06.20	ISSUED FOR SCHEMATIC DESIGN	CB

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## RIDGE VIEW SECONDARY COLLEGE STAGE 2 SOUTHERN CARPARK LINEMARKING PLAN

DRAWN	JP	DESIGNED	LG	REDUCED
CHECKED	HH	PRINCIPAL		
APPROVED	CB			
SCALE	1:200	DATE	15.06.20	DRAWING No.
BHW PROJ No.		BHW FILE No.		

C.11 B

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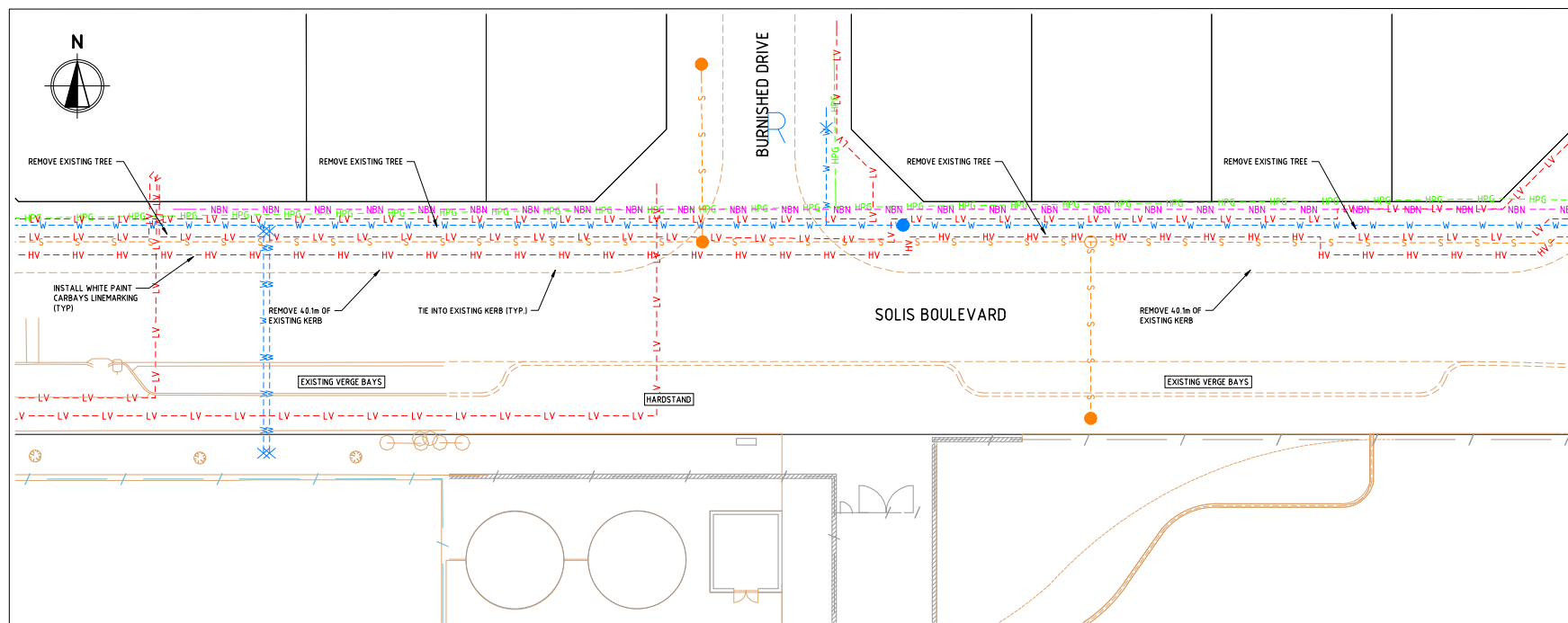
DATE 07-Sep-2020 FILE 28-50197-2

# NOTES

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.

## LEGEND

	CADASTRAL BOUNDARY
	SEMI-MOUNTABLE KERB
	NEW PAVEMENT
	KERB TO BE REMOVED
	EXISTING GAS PIPELINE - HIGH PRESSURE
	EXISTING POWER CABLE - LOW VOLTAGE
	EXISTING POWER CABLE - HIGH VOLTAGE
	EXISTING NBN CABLE
	EXISTING SEWER GRAVITY PIPE
	EXISTING WATER MAIN



PLAN  
SCALE 1:200



REV	DATE	DESCRIPTION	REVISIONS
B	21.08.20	ISSUED FOR REVIEW	CB
A	29.06.20	ISSUED FOR SCHEMATIC DESIGN	CB

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EDGE VIEW SECONDARY COLLEGE  
STAGE 2  
SOLIS BOULEVARD ON-STREET PARKING

DRAWN	JP	DESIGNED	LG	REDUCED
CHECKED	HH	PRINCIPAL		
APPROVED	CB			
SCALE	1:200	DATE	15.06.20	DRAWING No.
BPM PROJ No.		BPM FILE No.		

C.12 B

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0 2 4 6 8 10 12m  
SCALE 1:200 AT SIZE

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
07-Sep-2020	28-50197-2

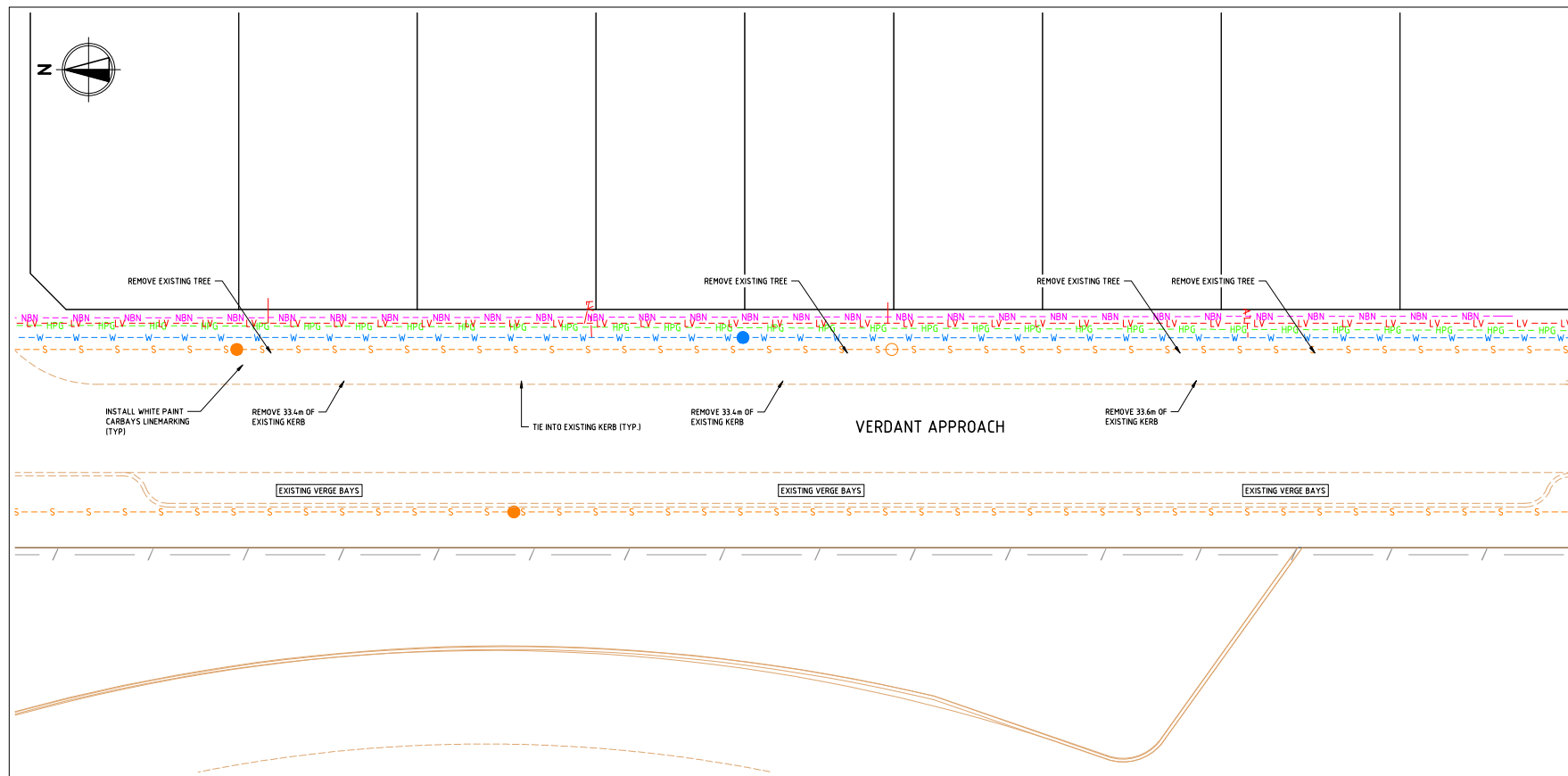


# NOTES

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.

## LEGEND

	CADASTRAL BOUNDARY
	SEMI-MOUNTABLE KERB
	NEW PAVEMENT
	KERB TO BE REMOVED
	EXISTING GAS PIPELINE - HIGH PRESSURE
	EXISTING POWER CABLE - LOW VOLTAGE
	EXISTING NBN CABLE
	EXISTING SEWER GRAVITY PIPE
	EXISTING WATER MAIN



PLAN  
SCALE 1:200



REV	DATE	DESCRIPTION	REVISIONS
B	21.08.20	ISSUED FOR REVIEW	CB
A	29.06.20	ISSUED FOR SCHEMATIC DESIGN	CB

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## RDGE VIEW SECONDARY COLLEGE STAGE 2 VERDANT APPROACH ON-STREET PARKING

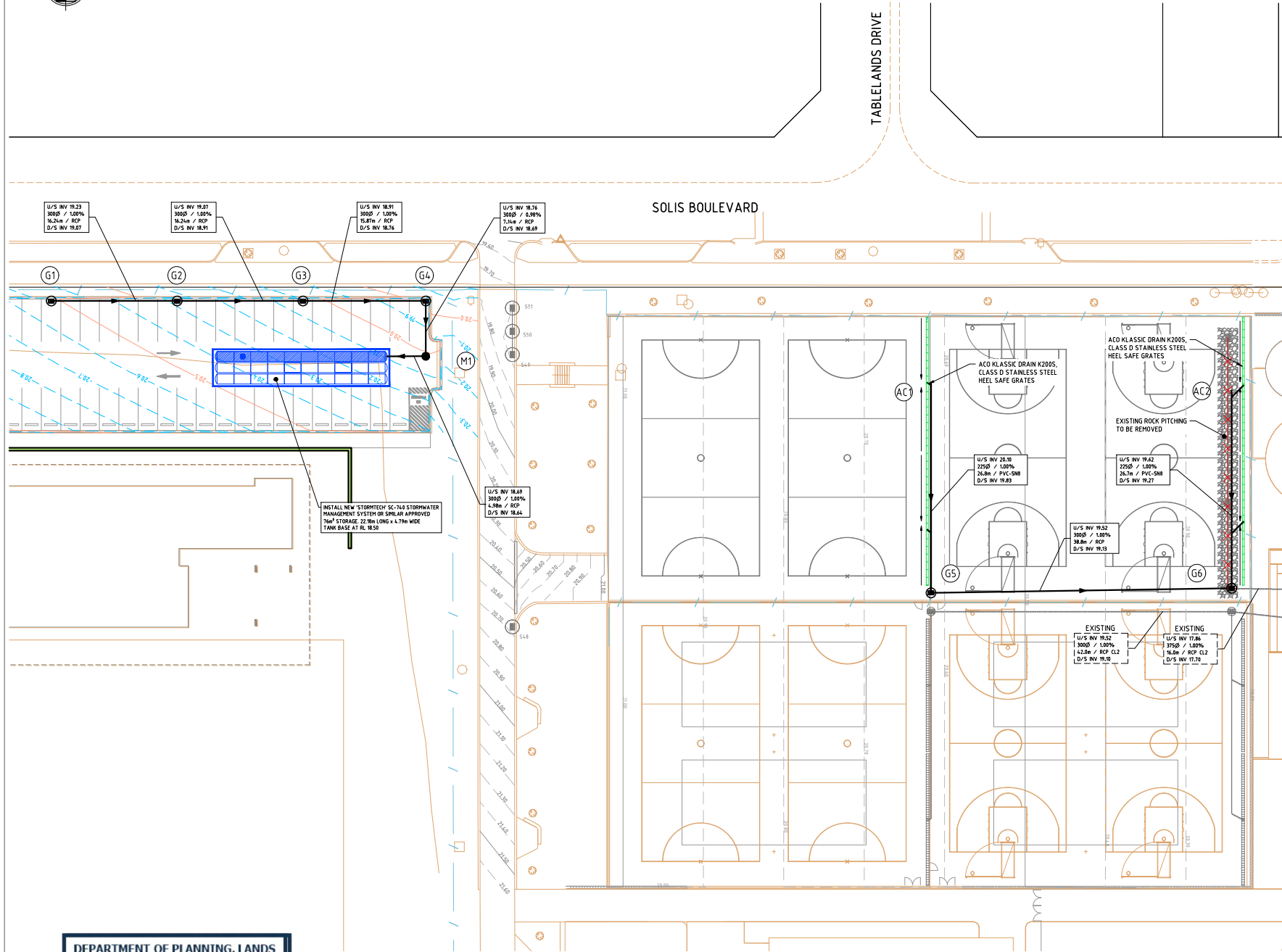
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CHECKED	HH	PRINCIPAL		
APPROVED	CB			
SCALE	1:200	DATE	15.06.20	DRAWING No.
BPM PROJ No.		BPM FILE No.		



C.13 B

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0 2 4 6 8 10 12m  
SCALE 1:200 AT 1:1 SIZE



## NOTES

- DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
- DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORKS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE SUPERINTENDENT AND INSTRUCTION SOUGHT.

## LEGEND

- CADASTRAL BOUNDARY
- EXISTING CONTOURS - MAJOR
- EXISTING CONTOURS - MINOR
- DESIGN CONTOURS - MAJOR
- DESIGN CONTOURS - MINOR
- DRAINAGE INFORMATION
  - UPSTREAM INVERT LEVEL (m)
  - DIAMETER (mm) / GRADE
  - LENGTH (m) / TYPE & CLASS
  - DOWNSTREAM INVERT LEVEL (m)
- DRAINAGE STRUCTURE NUMBER
- NEW STORMWATER PIPE AND DIRECTION OF FLOW
- DRAINAGE TO BE REMOVED
- 'ACO KLASSIK DRAIN K200S' STRIP DRAIN
- GRATED GULLY PIT
- MANHOLE
- STORMWATER TANK WITH INSPECTION PORT
- EXISTING PIT - STAGE 1
- EXISTING ROCK PITCHING - STAGE 1 TO BE REMOVED
- EXISTING STRIP DRAIN - STAGE 1
- EXISTING STORMWATER PIPE - STAGE 1
- EXISTING FENCE - STAGE 1
- EXISTING GATE - STAGE 1
- EXISTING RETAINING WALL - STAGE 1

REV	DATE	DESCRIPTION	REVISIONS
B	21.06.20	ISSUED FOR REVIEW	CB
A	29.06.20	ISSUED FOR SCHEMATIC DESIGN	CB

**Perth Office—**  
Level 19 Kings Square 1,  
556 Wellington St, Perth WA 6000  
P / +61 8 6364 3300  
E / info@bgeeng.com  
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BG&E DOCUMENT No. P20028

**Government of Western Australia**  
Department of Finance  
Building Management and Works

## RIDGE VIEW SECONDARY COLLEGE STAGE 2 DRAINAGE PLAN

DRAWN	JP	DESIGNED	HH	REDUCED
CHECKED	HH	PRINCIPAL		
APPROVED	CB			
SCALE	1:250	DATE	15.06.20	DRAWING No.
BPM PROJ No.		BPM FILE No.		C.20 B

THIS IS A CAD DRAWING  
DO NOT AMEND MANUALLY

DEPARTMENT OF PLANNING, LANDS  
AND HERITAGE

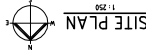
DATE  
07-Sep-2020

FILE  
28-50197-2

PLAN  
SCALE 1:250

0 2.5 5.0 7.5 10 12.5 15m  
SCALE 1:250 AT SIZE





- FITTING NOTES
1. LOCATE EXIST' CARPED SOI. DRAIN ON SITE & EXTEND SOI. DRAIN AS SHOWN TO NEW ACCESS CHAMBER
  2. LOCATE EXIST' CARPED SOI. DRAIN ON SITE & INSTALL NEW MAINTENANCE SHAFT ON END OF EXISTING SOI. DRAIN & RUN NEW SOI. DRAIN FROM MAINTENANCE SHAFT AS SHOWN
  3. OFFSET STORMWATER DRAIN DOWN DRAINAGE WITH 45 DEG BENDS
  4. CONNECT 225 DIA STORMWATER OVERFLOW DRAIN INTO SOLE OF CIVIL ACCESS CHAMBER - COORDINATE ON SITE WITH CIVIL CONTRACTOR

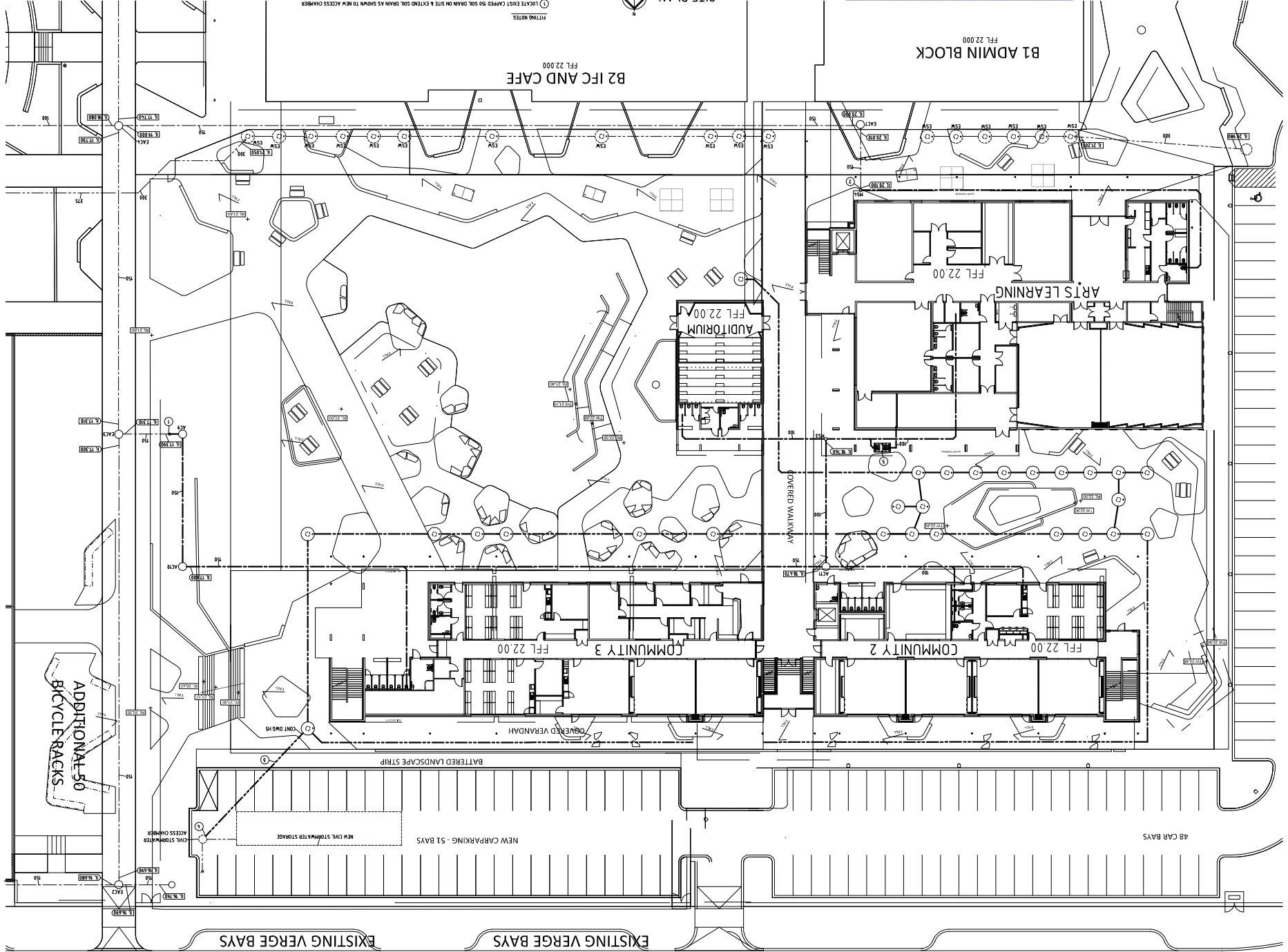
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DATE	07-Sep-2020
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PROJECT NO.	28-50197-2
DATE	07-Sep-2020
FILE	28-50197-2
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DATE	07-Sep-2020
FILE	28-50197-2

GOVERNMENT OF WESTERN AUSTRALIA  
Department of Finance  
Building Management and Works  
RIDGE VIEW SEC. COLLEGE - STAGE 2/3  
SIXT EIGHT ROAD, BALDIVIS  
SOL. DRAINS, STORMWATER  
HYDRAULIC SERVICES  
SITE PLAN

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PRELIMINARY

- LEGEND
- EXIST' SOI. DRAIN
  - EXIST' STORMWATER
  - NEW SOI. DRAIN
  - NEW STORMWATER
  - INVERT LEVEL
  - SOI. DRAIN
  - STORMWATER
  - EXIST' ACCESS CHAMBER
  - NEW ACCESS CHAMBER
  - AC
  - NEW SOI. DRAIN
  - EXIST' SOI. DRAIN
  - NEW MAINTENANCE SHAFT
  - MS



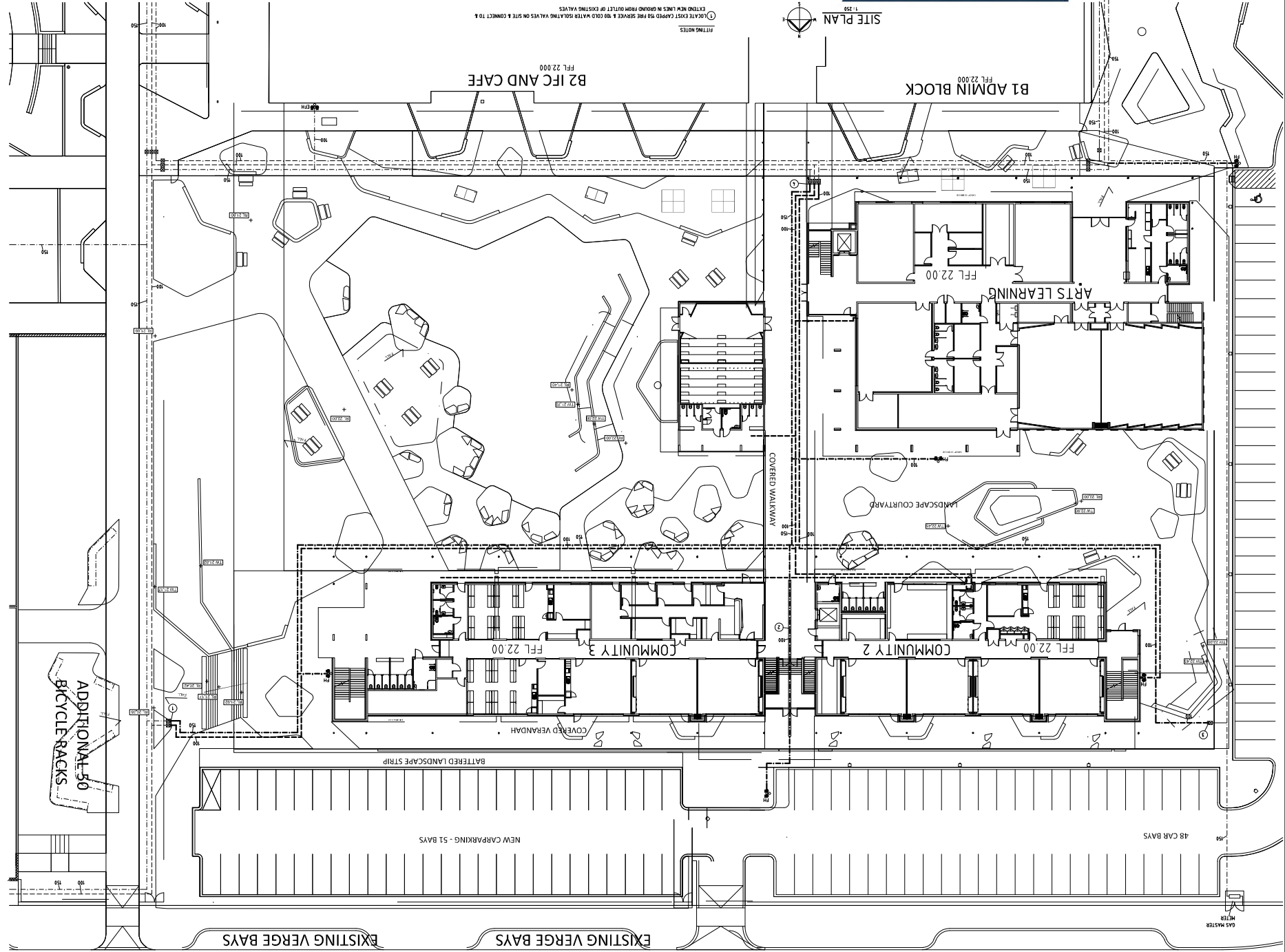
① LOCATE EXIST CHASED 50A RIG SERVICE, 80A & 100 COLD WATER ISOLATING VALVES ON SITE & CONNECT TO  
EXTEND NEW LINES IN GROUND FROM OUTLET OF EXISTING VALVES

② LOCATE EXIST SERVICE IN SLEEVE UNDER BUILDING

③ LOCATE EXIST SERVICE CHASED 50A RIG SERVICE ISOLATING VALVE ON SITE & CONNECT TO & EXTEND NEW GAS LINE  
IN GROUND FROM OUTLET OF EXISTING VALVES

④ LOCATE EXIST CHASED 50A RIG SERVICE, 80A & 100 COLD WATER ISOLATING VALVES ON SITE & CONNECT TO  
EXTEND NEW LINES IN GROUND FROM OUTLET OF EXISTING VALVES

⑤ LOCATE EXIST CHASED 50A RIG SERVICE, 80A & 100 COLD WATER ISOLATING VALVES ON SITE & CONNECT TO  
EXTEND NEW LINES IN GROUND FROM OUTLET OF EXISTING VALVES



~~ADDITIONAL 50  
BICYCLE RACKS~~

0.1% 0.2% 0.3% 0.4% 0.5% 0.6% 0.7% 0.8% 0.9% 1.0% 1.1% 1.2% 1.3% 1.4% 1.5% 1.6% 1.7% 1.8% 1.9% 2.0% 2.1% 2.2% 2.3% 2.4% 2.5% 2.6% 2.7% 2.8% 2.9% 3.0% 3.1% 3.2% 3.3% 3.4% 3.5% 3.6% 3.7% 3.8% 3.9% 4.0% 4.1% 4.2% 4.3% 4.4% 4.5% 4.6% 4.7% 4.8% 4.9% 5.0% 5.1% 5.2% 5.3% 5.4% 5.5% 5.6% 5.7% 5.8% 5.9% 6.0% 6.1% 6.2% 6.3% 6.4% 6.5% 6.6% 6.7% 6.8% 6.9% 7.0% 7.1% 7.2% 7.3% 7.4% 7.5% 7.6% 7.7% 7.8% 7.9% 8.0% 8.1% 8.2% 8.3% 8.4% 8.5% 8.6% 8.7% 8.8% 8.9% 9.0% 9.1% 9.2% 9.3% 9.4% 9.5% 9.6% 9.7% 9.8% 9.9% 10.0% 10.1% 10.2% 10.3% 10.4% 10.5% 10.6% 10.7% 10.8% 10.9% 11.0% 11.1% 11.2% 11.3% 11.4% 11.5% 11.6% 11.7% 11.8% 11.9% 12.0% 12.1% 12.2% 12.3% 12.4% 12.5% 12.6% 12.7% 12.8% 12.9% 13.0% 13.1% 13.2% 13.3% 13.4% 13.5% 13.6% 13.7% 13.8% 13.9% 14.0% 14.1% 14.2% 14.3% 14.4% 14.5% 14.6% 14.7% 14.8% 14.9% 15.0% 15.1% 15.2% 15.3% 15.4% 15.5% 15.6% 15.7% 15.8% 15.9% 16.0% 16.1% 16.2% 16.3% 16.4% 16.5% 16.6% 16.7% 16.8% 16.9% 17.0% 17.1% 17.2% 17.3% 17.4% 17.5% 17.6% 17.7% 17.8% 17.9% 18.0% 18.1% 18.2% 18.3% 18.4% 18.5% 18.6% 18.7% 18.8% 18.9% 19.0% 19.1% 19.2% 19.3% 19.4% 19.5% 19.6% 19.7% 19.8% 19.9% 20.0% 20.1% 20.2% 20.3% 20.4% 20.5% 20.6% 20.7% 20.8% 20.9% 21.0% 21.1% 21.2% 21.3% 21.4% 21.5% 21.6% 21.7% 21.8% 21.9% 22.0% 22.1% 22.2% 22.3% 22.4% 22.5% 22.6% 22.7% 22.8% 22.9% 23.0% 23.1% 23.2% 23.3% 23.4% 23.5% 23.6% 23.7% 23.8% 23.9% 24.0% 24.1% 24.2% 24.3% 24.4% 24.5% 24.6% 24.7% 24.8% 24.9% 25.0% 25.1% 25.2% 25.3% 25.4% 25.5% 25.6% 25.7% 25.8% 25.9% 26.0% 26.1% 26.2% 26.3% 26.4% 26.5% 26.6% 26.7% 26.8% 26.9% 27.0% 27.1% 27.2% 27.3% 27.4% 27.5% 27.6% 27.7% 27.8% 27.9% 28.0% 28.1% 28.2% 28.3% 28.4% 28.5% 28.6% 28.7% 28.8% 28.9% 29.0% 29.1% 29.2% 29.3% 29.4% 29.5% 29.6% 29.7% 29.8% 29.9% 30.0% 30.1% 30.2% 30.3% 30.4% 30.5% 30.6% 30.7% 30.8% 30.9% 31.0% 31.1% 31.2% 31.3% 31.4% 31.5% 31.6% 31.7% 31.8% 31.9% 32.0% 32.1% 32.2% 32.3% 32.4% 32.5% 32.6% 32.7% 32.8% 32.9% 33.0% 33.1% 33.2% 33.3% 33.4% 33.5% 33.6% 33.7% 33.8% 33.9% 34.0% 34.1% 34.2% 34.3% 34.4% 34.5% 34.6% 34.7% 34.8% 34.9% 35.0% 35.1% 35.2% 35.3% 35.4% 35.5% 35.6% 35.7% 35.8% 35.9% 36.0% 36.1% 36.2% 36.3% 36.4% 36.5% 36.6% 36.7% 36.8% 36.9% 37.0% 37.1% 37.2% 37.3% 37.4% 37.5% 37.6% 37.7% 37.8% 37.9% 38.0% 3
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Government of Western Australia  
Department of Finance  
Building Management and Works

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RIDGE VIEW SEC. COLLEGE – STAGE 2/3  
SIXTY EIGHT ROAD, BALDIVIS  
SITE PLAN  
HYDRAULIC SERVICES  
COLD WATER, FIRE, GAS

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PRELIMINARY

**LEGEND**

EXIST COLD WATER	---
EXIST FIRE SERVICE	---
EXIST GAS SERVICE	---
NEW COLD WATER	---
NEW FIRE SERVICE	---
NEW GAS SERVICE	---
ISOLATING VALVE	---
IN VALVE BOX	---
EXIST FIRE HYDRANT	FFH
NEW FIRE HYDRANT	FFH







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150  
CONT'D ON P. 225

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The diagrams show the construction of a circle tangent to a line and a circle. In the first diagram, a line and a circle are shown. A point on the line is marked, and a perpendicular line is drawn from it to the center of the circle. In the second diagram, a point on the perpendicular line is marked, and a circle is drawn centered at this point, tangent to the line. In the third diagram, the final result is shown: a circle tangent to the line and the original circle.

---

The first floor plan shows three offices, each containing a desk, a chair, and a small table. A reception area is located at the bottom right of the floor plan.

[illegible]


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E - CONT

The technical drawings illustrate the door frame assembly. On the left, a cross-section shows the door frame (1) and the door (2) with a hinge (3). On the right, a perspective view shows the door frame (1) and the door (2) with a hinge (3) and a handle (4). The drawings are labeled with dimensions and material specifications.

A schematic diagram of a two-story building. It features a central horizontal corridor. On both the left and right sides of this corridor, there are vertical staircases. Each staircase is represented by a series of horizontal lines, with an arrow indicating the direction of travel. The entire structure is enclosed within a rectangular frame.

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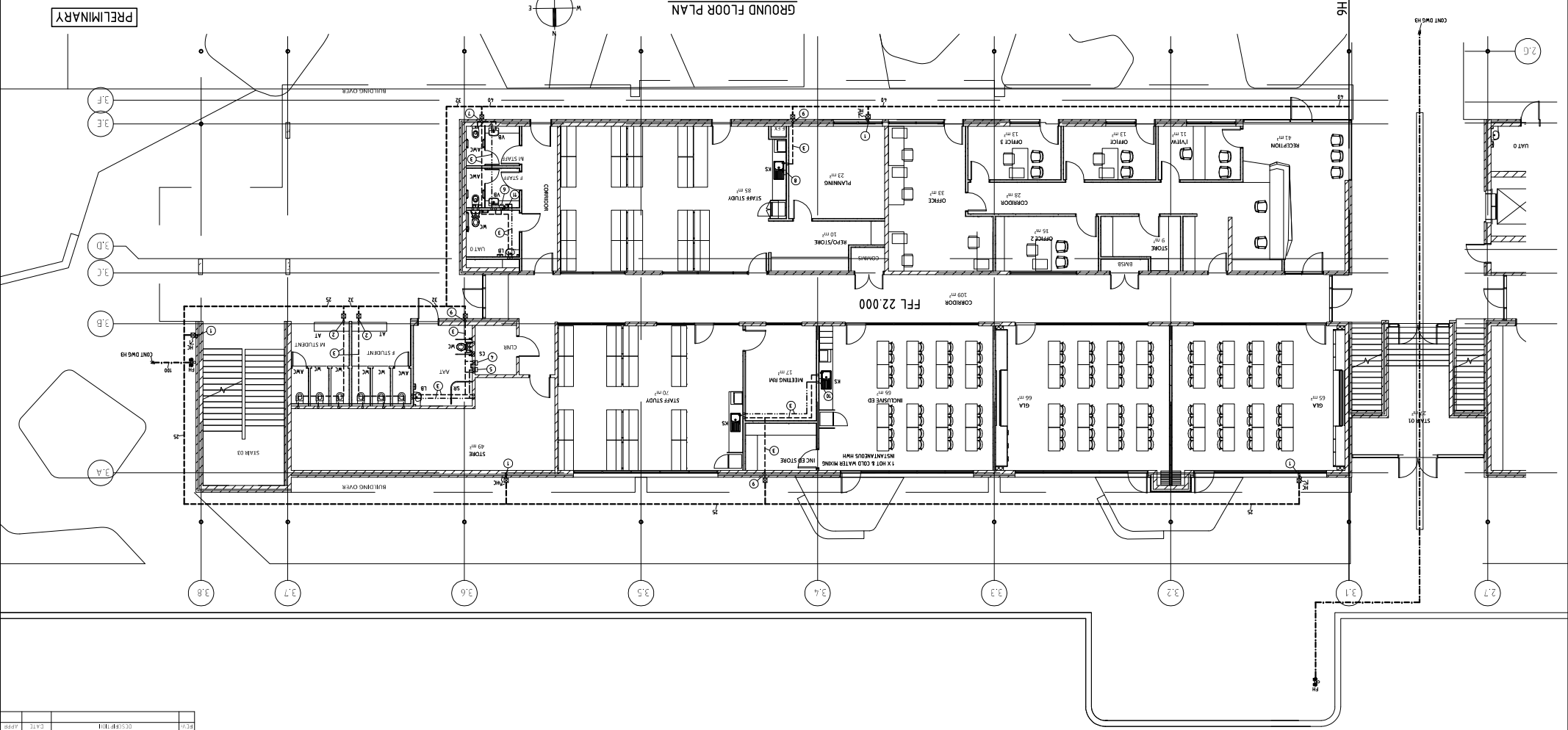
PRELIMINARY





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RIDGE VIEW SEC. COLLEGE - STAGE 2/3  
SIXTY EIGHT ROAD, BALDIVIS  
COMMUNITY 3 GROUND FLOOR PLAN  
HYDRAULIC SERVICES  
HOT & COLD WATER, FIRE SERVICE

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- FITTING NOTES
- 1) COLD WATER RISE IN CAVITY & CONNECT TO HOSE COCK IN NECESSARY HOSE COCK BOX IN WALL 800 ABOVE FFL
  - 2) COLD WATER RISE IN CAVITY & RUN IN GROUND FLOOR CEILING SPACE
  - 3) RUN PIPEWORK IN GROUND FLOOR CEILING SPACE
  - 4) ELECTRIC INSTANTANEOUS WATER HEATER ON CLEANERS STORE ROOM WALL AT HIGH LEVEL - IS COLD WATER ORIGIN IN WALL & CONNECT TO WATER HEATER - IS HOT WATER RISE IN WALL FROM OUTLET OF WATER HEATER & RUN IN GROUND FLOOR CEILING SPACE AS SHOWN
  - 5) HOT & COLD WATER RISE IN WALL 1000 ABOVE FFL - IS HOT & COLD WATER DRAIN IN WALL & CONNECT TO DRAIN VALVE VIA DRAINING VALVES - IS RISED THERMOSTATIC MIXING VALVE RISE IN WALL FROM OUTLET OF MIXING VALVE & RUN IN GROUND FLOOR CEILING SPACE AS SHOWN
  - 6) ELECTRIC INSTANTANEOUS WATER HEATER ON WALL UNDER BENCH - CONNECT IS COLD WATER DRAIN TO HEATER VIA ISOLATING VALVE - IS HOT WATER RISE FROM OUTLET OF WATER HEATER & CONNECT TO SINK ABOVE - IT THERMOSTATIC MIXING VALVE ON HOT WATER LINE IN GROUND FLOOR CEILING SPACE AS SHOWN - IT THERMOSTATIC MIXING VALVE RISE IN WALL FROM OUTLET OF MIXING VALVE & RUN IN GROUND FLOOR CEILING SPACE AS SHOWN
  - 7) COLD WATER RISE IN CAVITY & RUN IN GROUND FLOOR CEILING SPACE WITH IS BRANCH OFF RISE TO RUN IN CAVITY TO WC BASIN
  - 8) ELECTRIC INSTANTANEOUS WATER HEATER ON WALL UNDER BENCH - CONNECT IS COLD WATER DRAIN TO HEATER VIA ISOLATING VALVE - IS HOT WATER RISE FROM OUTLET OF WATER HEATER & CONNECT TO SINK ABOVE - IT THERMOSTATIC MIXING VALVE ON HOT WATER LINE IN GROUND FLOOR CEILING SPACE AS SHOWN - IT THERMOSTATIC MIXING VALVE RISE IN WALL FROM OUTLET OF MIXING VALVE & RUN IN GROUND FLOOR CEILING SPACE AS SHOWN
  - 9) COLD WATER RISE IN CAVITY & RUN IN GROUND FLOOR CEILING SPACE

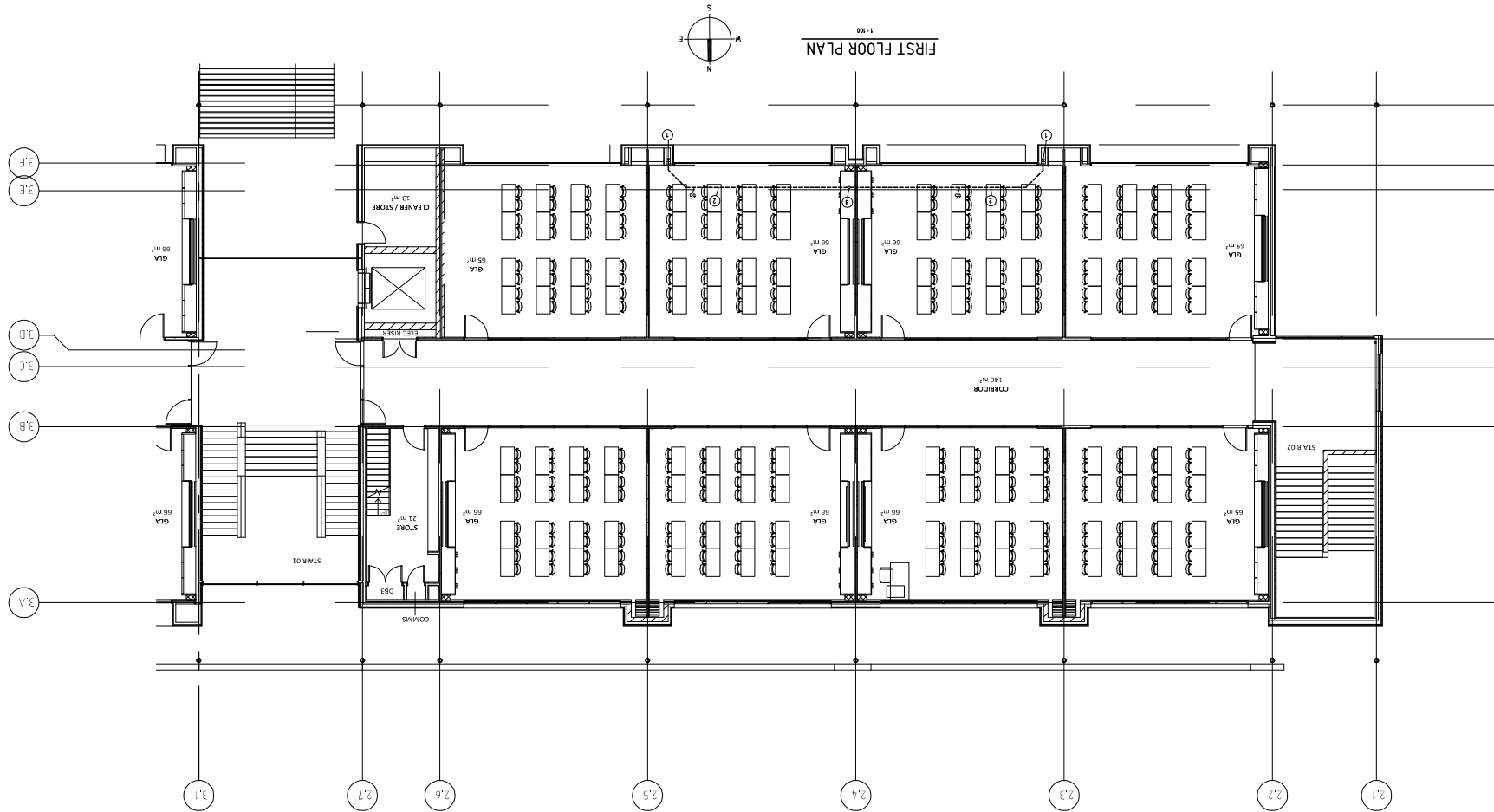
- LEGEND
- COLD WATER
  - HOT WATER
  - FIRE SERVICE
  - FIRE HYDRANT
  - ISOLATING VALVE
  - IN WALL BOX
  - HOSE COCK

[illegible]

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PRELIMINARY



**FITTING NOTES**

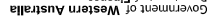
- 1) 65 VENTS RISE IN CAVITY FROM FLOOR BELOW & RUN VENT LINE IN ROOF SPACE AS SHOWN
- 2) RUN PEWDECK IN ROOF SPACE
- 3) COMBINE 2 X 65 VENTS INTO COMMON 100 VENT HEADER IN ROOF SPACE & RISE & TERMINATE 90 VENT ABOVE ROOF

LEGEND

SOIL DRAIN	---
WASTE PIPE	—
VENT PIPE	- - -

[illegible]

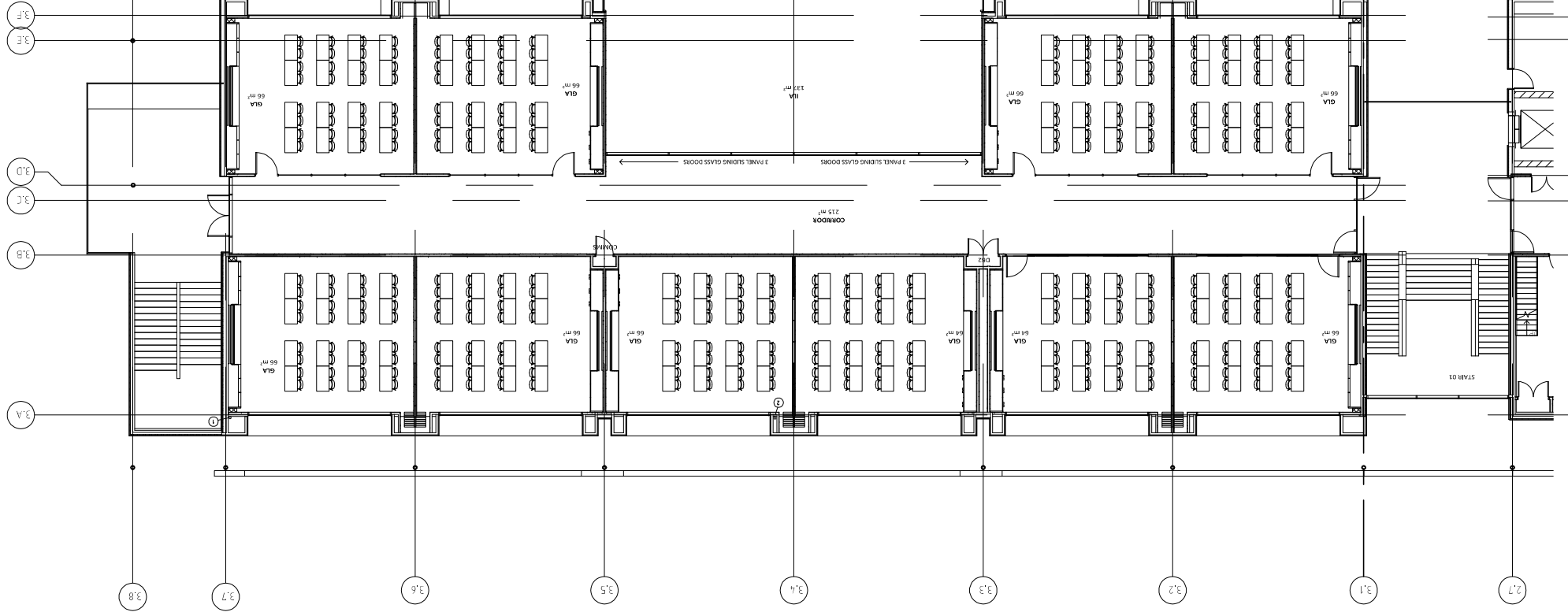
RIDGE VIEW SEC. COLLEGE - STAGE 2/3  
SIXTY EIGHT ROAD, BALDIVIS  
COMMUNITY 3 FIRST FLOOR PLAN



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PRELIMINARY



FITTING NOTES

FIRST FLOOR PLAN

010

RIDOR

5 m<sup>2</sup>

SWING

418 01

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## DESCRIPTION

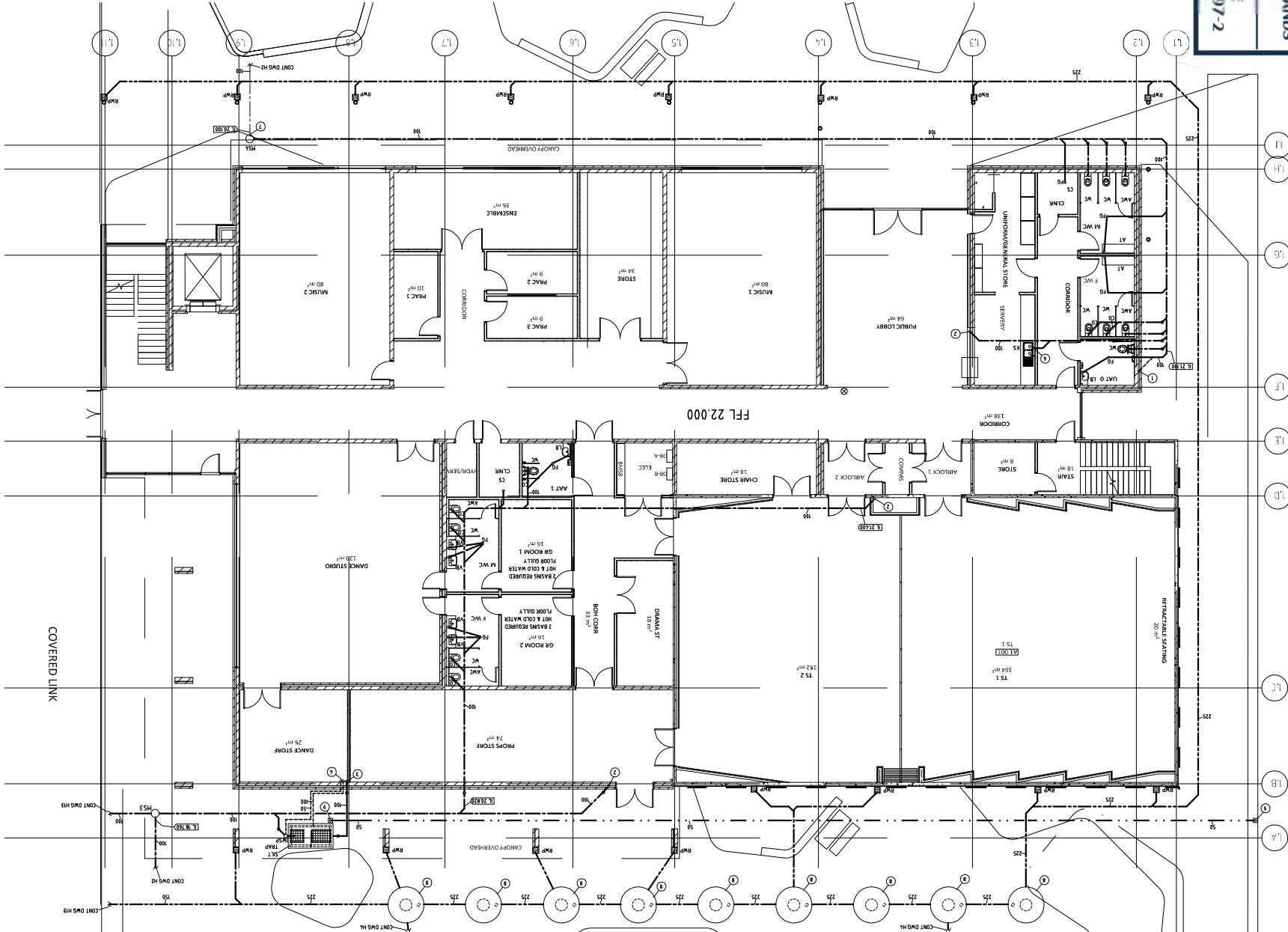
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DATE	
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- FITTING NOTES
1. 65 VENT ROSE IN CAVITY TO FLOOR ABOVE
  2. 65 WASTE DRAIN IN CAVITY FROM FLOOR ABOVE INTO 90 BEND IN GROUND
  3. 65 S&T TRAP DRAIN DROP ON STORE ROOM WALL FROM FLOOR ABOVE INTO GROUND & RUN IN GROUND AS SHOWN
  4. 60 S&T TRAP VENT & 50 WSP VENT ON WALL STORE TO FLOOR ABOVE
  5. 60 WSP WORK IN GROUND FLOOR CEILING SPACE
  6. 50 WASTE DRAIN INTO 65 BEND IN GROUND
  7. 50 LOCATE EXIST CARPET 50L DRAIN ON SITE & INSTALL NEW MAINTENANCE SHAFT ON END OF EXISTING
  8. SOL DRAIN & RUN NEW SOL DRAIN FROM MAINTENANCE SHAFT AS SHOWN
  9. NEW 180 DIA X 1800 DEEP SOAKWELL - LOCATE AS DIRECTED ON SITE
  10. 50 SECTION LINE RISE & TERMINATE WITH 50 DIA CHECK FITTING IN VALVE BOX FOR CONNECTION OF SECTION LINE FOR CLEANING OUT OF S&T TRAP - FRESH VALVE BOX COVER FLUSH WITH SURROUNDING GROUND LEVEL

GROUND FLOOR PLAN

1:100



COVERED LINK

- LEGEND
- NEW S&T TRAP
  - ACCESS CHAMBER
  - INVERT LEVEL
  - STORMWATER
  - INVERT LEVEL
  - SOL DRAIN
  - INSPECTION OPENING
  - CLEAN OUT
  - CO
  - RAMP
  - STORMWATER
  - VENT PIPE
  - WASTE PIPE
  - SOL DRAIN

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Building Management and Works

RIDGE VIEW SEC. COLLEGE - STAGE 2/3  
SIXTY EIGHT ROAD, BALDIVIS  
ARTS LEARNING GROUND FLOOR PLAN  
HYDRAULIC SERVICES  
SOL, WASTES AND VENTS, STORMWATER

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DATE: 07-Sep-2020  
DRAWN BY: H10  
CHECKED BY: H10  
SCALE: 1:100 @ A1  
PROJECT NO: 28-50197-2  
SHEET NO: 23

WATER RISE IN CAVITY & CONNECT TO HOSE COCK IN RECESSED HOSE COCK BOX IN WALL 800 ABOVE FFL

CONNECT TO MIXING VALVE - IS MIXED TEMPERATURE WATER RUN IN WALL FROM MIXING VALVE & CONNECT TO BASIN

Architectural drawing of a ground floor plan. It features a curved wall on the left and a rectangular structure in the center. The drawing is oriented horizontally.

OH

LEGEND

	COLD WATER
	HOT WATER
	FIRE SERVICE
	FIRE HYDRANT
	ISOLATING VALVE
	HOSE COCK

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RIDGE VIEW SEC. COLLEGE - STAGE 2/3  
SIXTY EIGHT ROAD, BALDWIN  
ARTS LEARNING GROUND FLOOR PLAN

HOT & COLD WATER, FIRE SERVICE

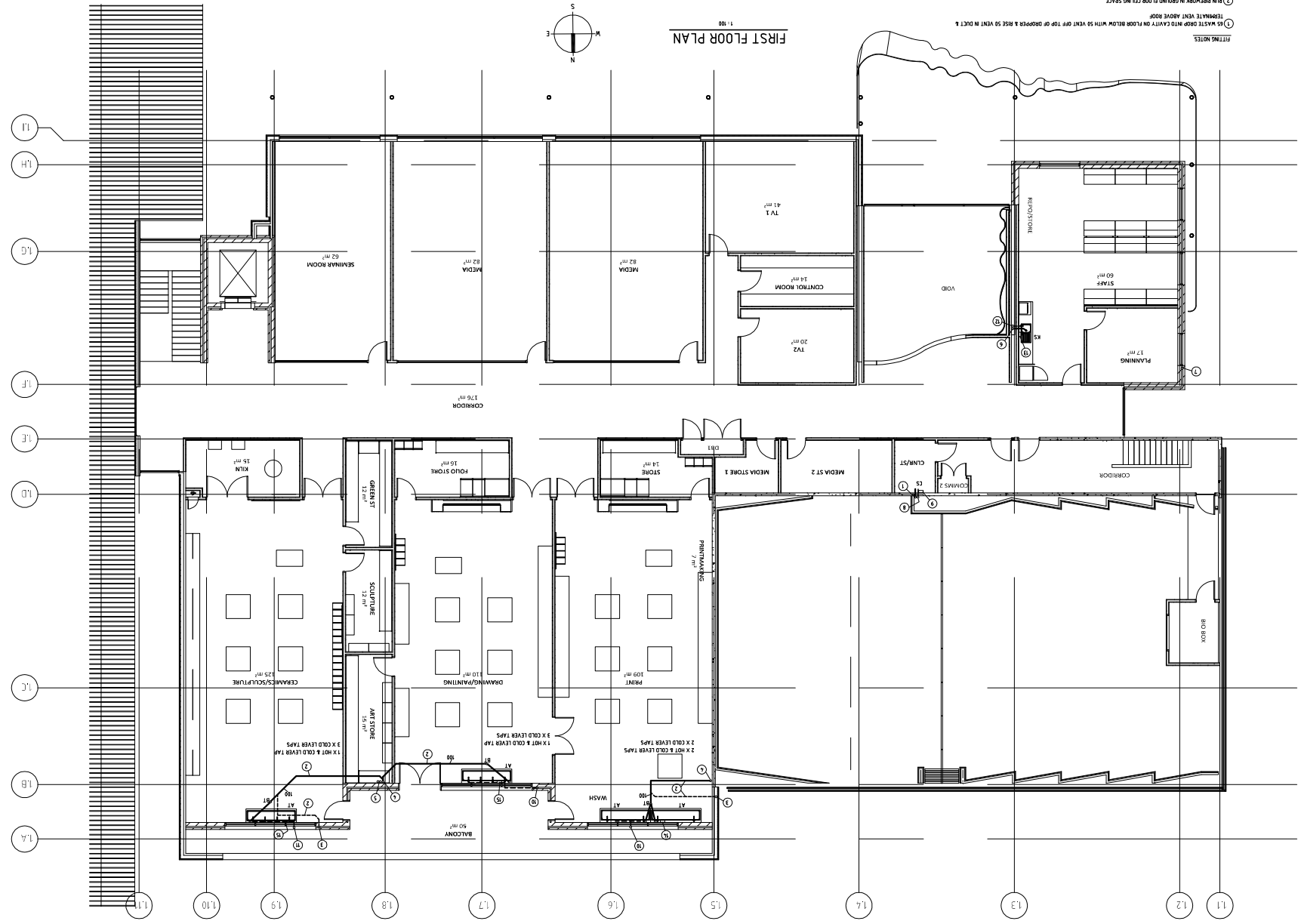
[illegible]

[illegible]

5) MAKE SURE THERE IS NO CAVITY ON FLOOR BELOW WITH 50 VENT VENT TOP OF DROPPER RISE 50 VENT IN CAVITY 2

ATES

FIRST FLOOR PLAN



RIDGE VIEW SEC. COLLEGE - STAGE 2/3

SIXTY EIGHT ROAD, BALDWIN  
ARTS LEARNING FIRST FLOOR PLAN  
HYDRAULIC SERVICES  
CONSTRUCTION AND REPAIRS 1981 & 1982-1983

SOILS, WASTES AND VENIS, HOT & COLD WATER

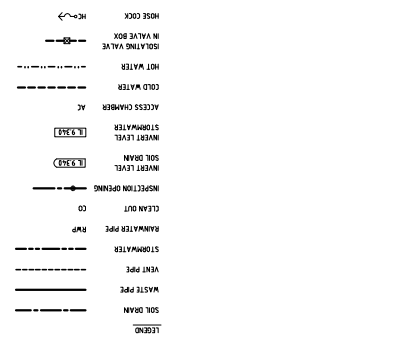
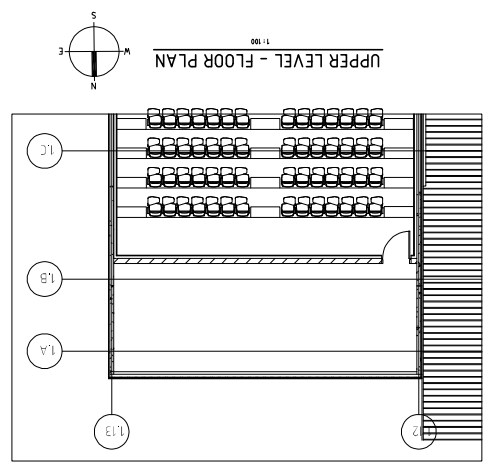
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PRELIMINARY

REV	DESCRIPTION	DATE	APP
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DATE	07-Sep-2020
FILE	28-50197-2
DEPARTMENT OF PLANNING, LANDS AND HERITAGE	

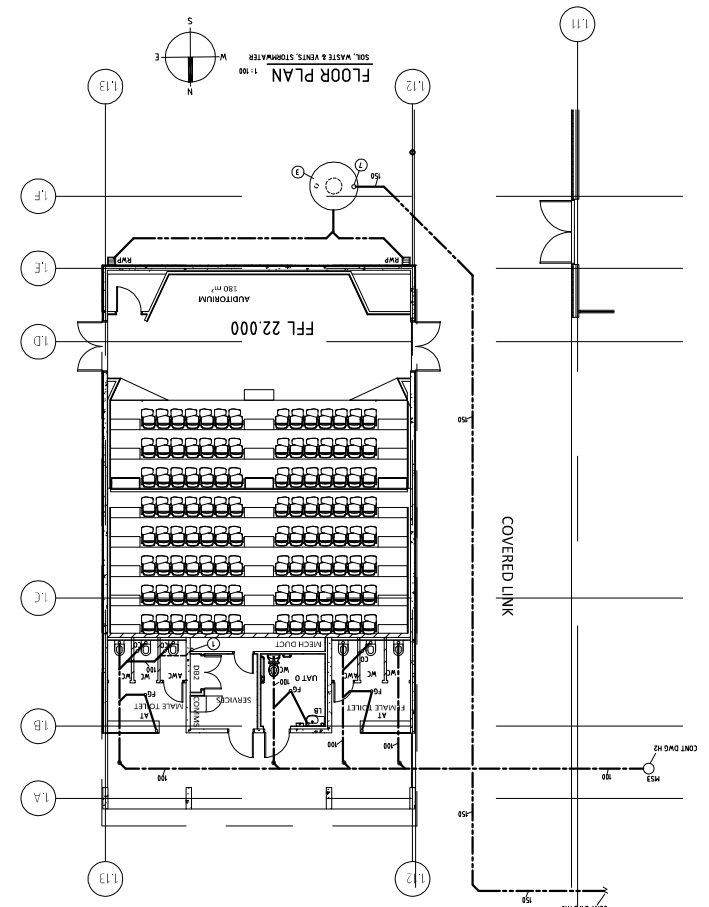
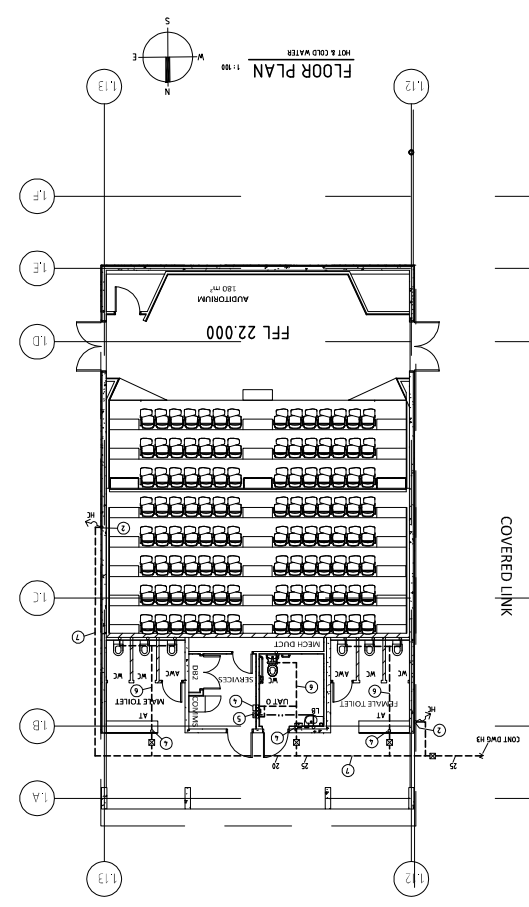
RIDGE VIEW SEC. COLLEGE - STAGE 2/3  
SIXTY EIGHT ROAD, BALDIVIS  
AUSTRIUM FLOOR PLAN  
HYDRAULIC SERVICES - HOT & COLD WATER,  
SOILS, WASTES AND VENTS, STORMWATER

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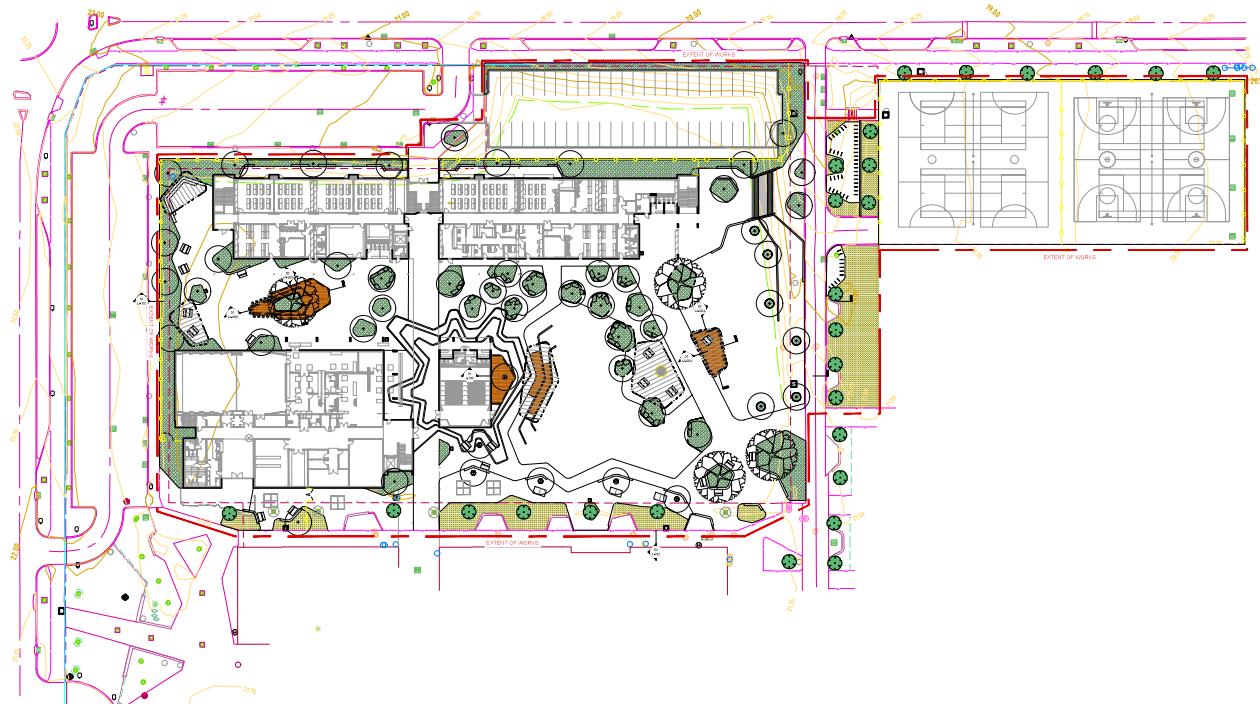
DATE	07-Sep-2020
APPRE	



# RIDGEVIEW SECONDARY COLLEGE

## LANDSCAPE WORKS

DRAWING SCHEDULE	
Sheet Number	Sheet Title
LA-000	COVER SHEET
LA-001	LEGEND AND PLANT SPECIES
LA-200	GENERAL ARRANGEMENT
LA-201	GENERAL ARRANGEMENT
LA-301	FINISHES AND FURNITURE
LA-302	FINISHES AND FURNITURE
LA-701	SECTION
LA-702	SECTIONS
LA-900	DETAILS
LA-901	DETAILS
LA-903	DETAILS
LA-904	CANOPY DETAILS
LA-910	PLANTING DETAILS



31.8.20	C	DRAFT DD FOR REVIEW	
24.8.20	B	DRAFT DD FOR REVIEW	
20.8.20	A	DRAFT D.A FOR REVIEW	
DATE	ISSUE	REVISION	RISK C

### ASPECT Studios

ASPECT Studios Pty Ltd  
Level 1, 1/101 St Georges Terrace  
Perth WA 6000  
Australia  
P +61 8 922 492 252  
www.aspectstudios.com.au  
perth@aspectstudios.com

Perth

### BATEMAN ARCHITECTS

35 NORTHWOOD STREET,  
WEST LEEDESVILLE, WA 6007  
P. (08) 9382 8220



Government of Western Australia  
Department of Treasury and Finance  
Building Management and Works

RIDGE VIEW SECONDARY SCHOOL  
STAGE 2  
LANDSCAPE  
COVER SHEET

DRAWN	JHB	DESIGNED	JHB	REDUCED
CHECKED	RG	PRINCIPAL		
APPROVED	RG			
SCALE		DATE		DRAWING No.
-		AUG 2020		
BATEMAN NO.	20-001	BRW FILE NO.	2020/TBC	LA-000 c
ASPECT NO.	PER20013			

LEGEND:

EXTENT OF WORKS

PAVEMENTS AND SURFACE

CODE	SYMBOL	DESCRIPTION	DETAIL REF.
PV-01		IN SITU CONCRETE 100mm THK	
PV-02		UNIT PAVING WITH HEADER COLOUR: AMBER (70%) CHALK (30%)	
PV-03		ASPHALT COURT SURFACE WITH ACRYLIC TOPCOAT	
PV-04		LIQUID LIMESTONE 100mm THK	
PV-05		TACTILE UNIT PAVER 330x330x60mm COLOUR: CHARCOAL	
DE-01		COMPOSITE TIMBER DECKING	

WALLS AND EDGES

CODE	SYMBOL	DESCRIPTION
WA-01		RECON LIMESTONE BLOCK RETAINING WALL WITH CAPPING STONE
WA-02		IN SITU CONCRETE WALL TO MATCH EXISTING
ST-01		IN SITU CONCRETE STAIR COLOUR: CASHMERE BROOM FINISH
SE-01		STEEL EDGE HDG STEEL RING 100mm(H)x5mm (THK)
CE-01		CONCRETE EDGE BEAM FLUSH FINISH 200mm WIDE
FE-01		CHAIN LINK FENCE TO MATCH EXISTING
FE-02		PALISADE FENCE TO MATCH EXISTING REMOVE EXISTING ON BEDS AND STICKLES FOR REUSE

FURNITURE AND FIXTURES

CODE	SYMBOL	DESCRIPTION	DETAIL REF.
FL-01		OUTDOOR TABLE TENNIS TABLE	
FL-02		PICNIC SETTING TO MATCH EXISTING	
FL-03		BIKE RACKS	
FL-04		STOOL 700mm HIGH	
FL-05		LARGE BOULDER SEATING	
HA-01		STAINLESS STEEL HANDRAIL	
TG-01		TREE GRATE CAST ALUMINIUM NOM.1000 DIA.	
BE-01		BIN ENCLOSURE TO MATCH EXISTING	
CA-01		CANOPY HDG STEEL STRUCTURE WITH POLYCARBONATE ROOF COLOUR: TBC	
		LINEMARKING PAINT FINISH COLOUR TBC	

SOFTSCAPE AND PLANTING

CODE	SYMBOL	DESCRIPTION	DETAIL REF.
		TREE - PROPOSED 90-200L POT SIZE	
		MATURE TREE - PROPOSED 500 - 1000L POT SIZE	
		TREE - TO BE RETAINED	
		TREE - TO BE REMOVED	
GB-01		GARDEN BED	
		EXISTING GARDEN BED TO BE AMENDED	
TU-01		TURF	

PLANTING PALLETTE



Shrub and Groundcover Species

- 1 Banksia Coastal Candles
- 2 Beaufortia elgans
- 3 Anigozanthus 'Gold Fever'
- 4 Anigozanthus 'Red Velvet'
- 5 Conostylis candicans
- 6 Dianella 'Tas Red'
- 7 Dianella 'Weeping Kate'
- 8 Acacia 'Limelight'
- 9 Acacia 'Honey Bun'
- 10 Pimelea ferruginea
- 11 Westringia fruticosa 'Little Smokie'
- 12 Calothamnus 'Clean and Green'
- 13 Eremophila 'Kalbarri Carpet'
- 14 Melaleuca incana nana
- 15 Grevillea Crimson Villa
- 16 Hibertia scandens
- 17 Acaia lasiocarpa

Tree Planting

- 18 Eucalyptus 'EUC 78' Vintage Red
- 19 Delonix regia
- 20 Melaleuca leucadendria
- 21 Eucalyptus leucocorylon 'Roses'
- 22 Agonis flexuosa

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ASPECT Studios

ASPECT Studios Pty Ltd  
Level 1, 1101 St Georges Terrace  
Perth WA 6000  
Australia  
P +61 8 924 490 252  
www.aspectstudios.com.au  
perth@aspectstudios.com

Perth

BATEMAN ARCHITECTS

35 NORTHWOOD STREET,  
WEST LEEDESVILLE, WA 6007  
P. (08) 9382 8220



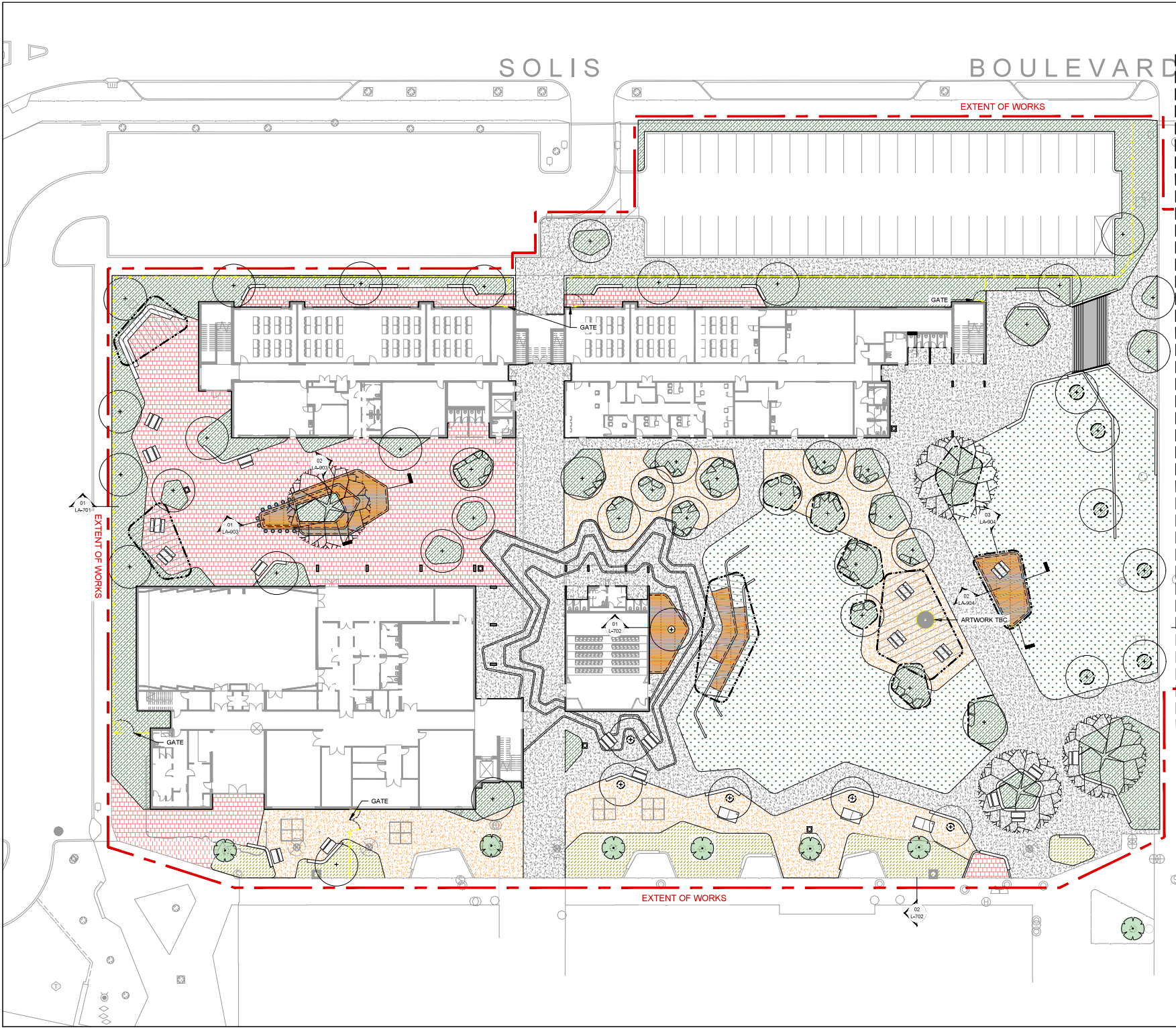
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Building Management and Works

RIDGEVIEW SECONDARY SCHOOL  
STAGE 2

LANDSCAPE  
LEGEND AND PLANT SPECIES

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APPROVED	RG			
SCALE		DATE	AUG 2020	DRAWING No.
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DP Project No.		BHW FILE No.		LA-001 c





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Perth WA 6000  
Australia  
P 41 428 490 282  
www.aspectstudios.com.au/  
perth@aspectstudios.com

Perth

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35 NORTHWOOD STREET,  
WEST LEEDESVILLE, WA 6007  
P (08) 9382 8220



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RIDGEVIEW SECONDARY SCHOOL  
STAGE 2  
LANDSCAPE  
GENERAL ARRANGEMENT

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CHECKED	RG	PRINCIPAL		
APPROVED	RG			
SCALE	1:250 @ A1	DATE	AUG 2020	DRAWING No.
DP Project No.		BMW FILE No.		LA-200 c



EXTENT OF WORKS

GATE

03  
LA-204

02  
LA-204

ARTWORK TBC

REFER TO DRAWING LA-200 - GENERAL ARRANGEMENT FOR CONTINUATION.

EXTENT OF WORKS

DEPARTMENT OF PLANNING, LANDS  
AND HERITAGE

DATE  
07-Sep-2020

FILE  
28-50197-2

31.8.20	C	DRAFT D.O. FOR REVIEW		
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Perth WA 6000  
Australia  
P: 61 8 922 492 282  
www.aspectstudios.com.au/  
perth@aspectstudios.com

Perth

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35 NORTHWOOD STREET,  
WEST LEEDESVILLE, WA 6007  
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RIDGEVIEW SECONDARY SCHOOL  
STAGE 2

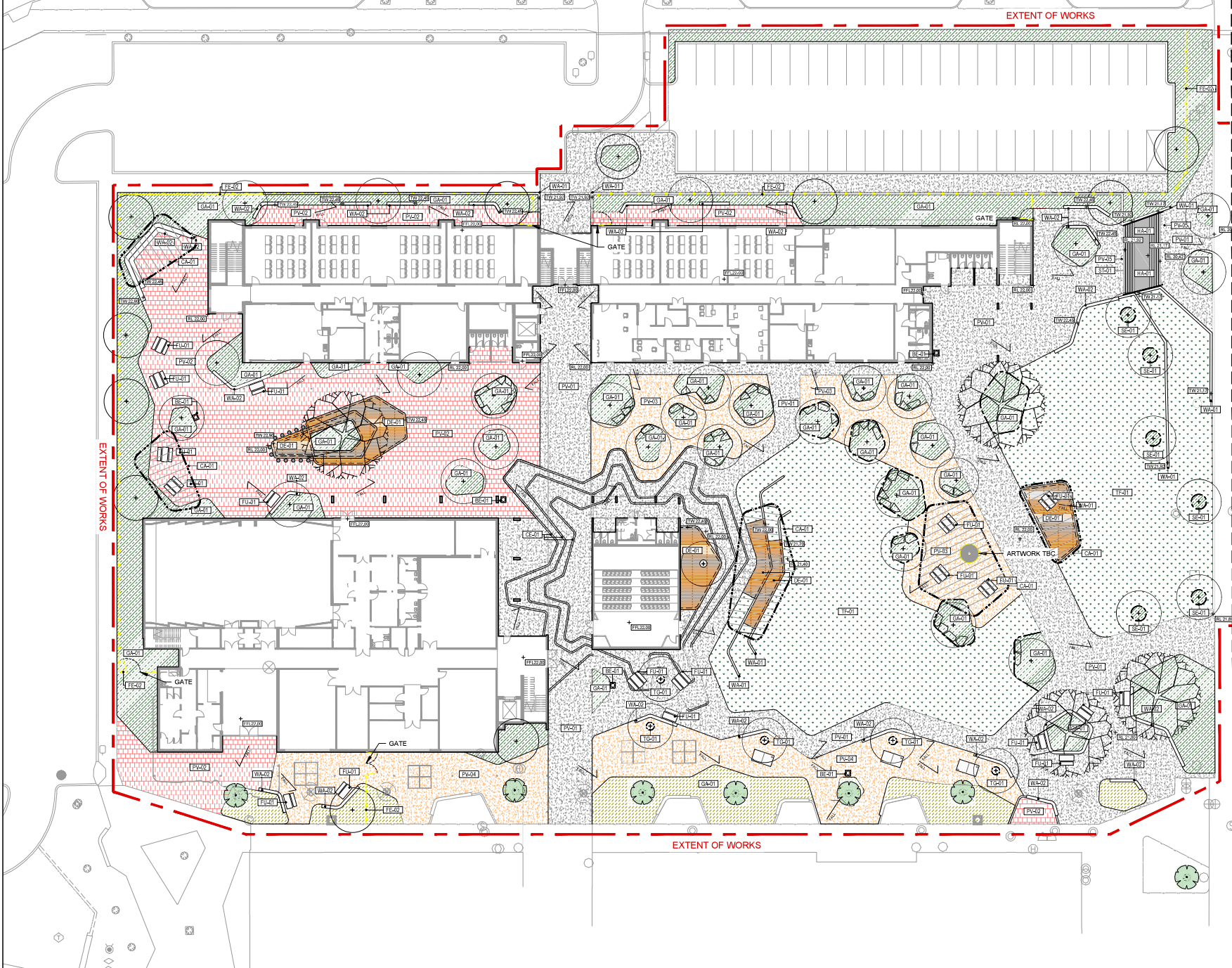
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GENERAL ARRANGEMENT

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CHECKED	RG	PRINCIPAL		
APPROVED	RG			
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DP Project No.		BRW FILE No.		LA-201 c



NORTH





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ASPECT Studios Pty Ltd  
Level 1, 1/101 St Georges Terrace  
Perth WA 6000  
Australia  
P 41 428 480 382  
www.aspectstudios.com.au/  
perth@aspectstudios.com

Perth

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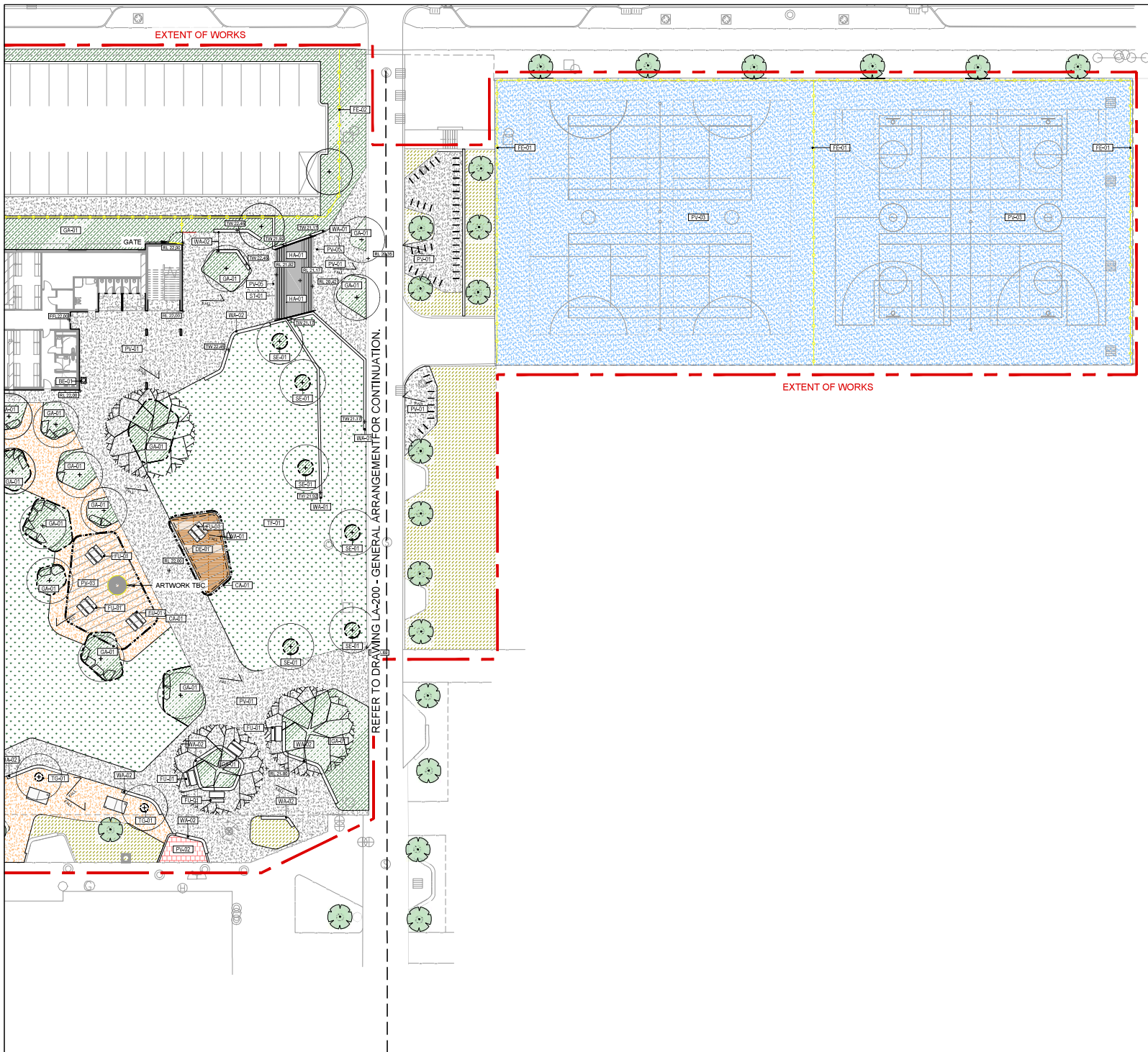
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RIDGEVIEW SECONDARY SCHOOL STAGE 2 LANDSCAPE FINISHES AND FURNITURE			
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CHECKED	RG	PRINCIPAL	
APPROVED	RG		
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DP Project No.		BHW FILE No.	LA-301 c



EXTENT OF WORKS



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## ASPECT Studios

ASPECT Studios Pty Ltd  
Level 1, 1/101 St Georges Terrace  
Perth WA 6000  
Australia  
P: +61 8 922 392 392  
www.aspectstudios.com.au/  
perth@aspectstudios.com

Perth

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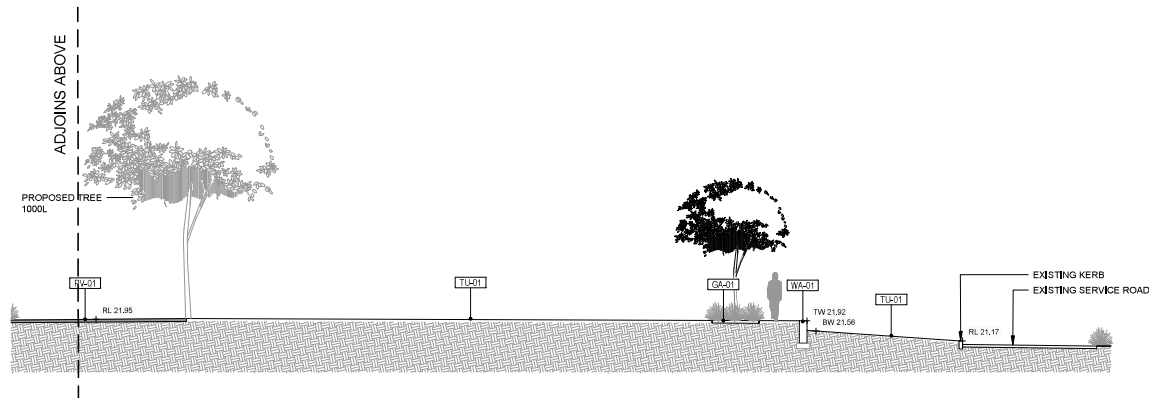
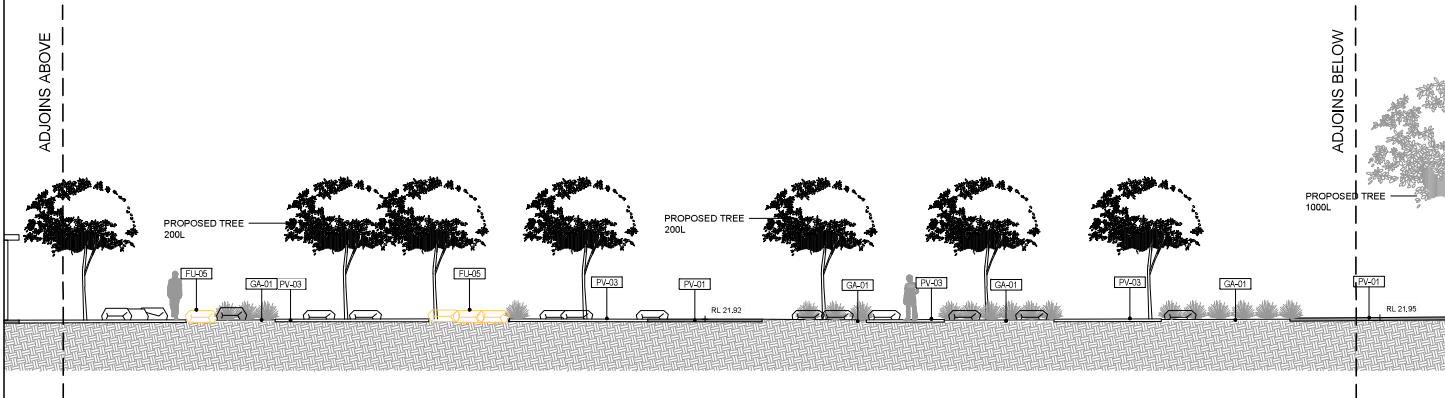
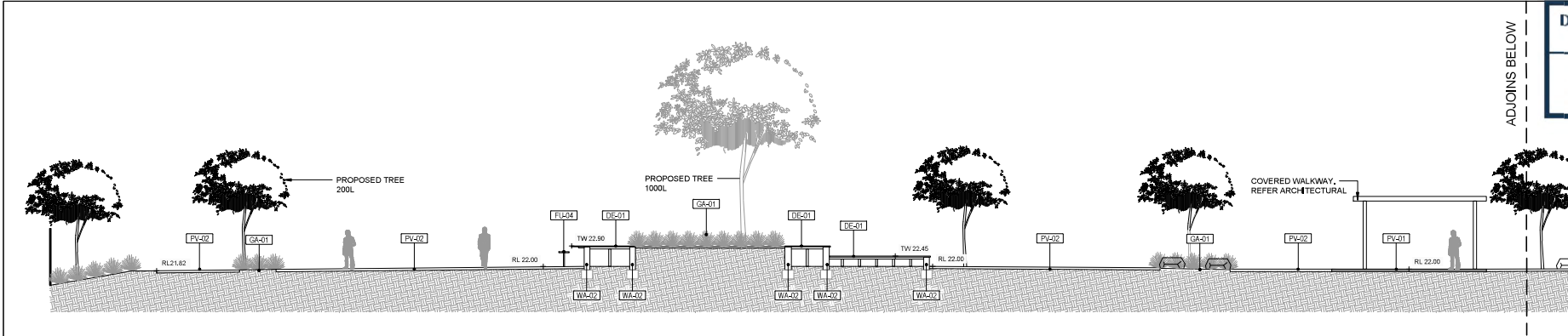
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APPROVED	RG			
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DP Project No.		BRW FILE No.		LA-302 c





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# ASPECT Studios

ASPECT Studios Pty Ltd  
Level 1, 1101 St Georges Terrace  
Perth WA 6000  
Australia  
P +61 8 924 690 282  
www.aspectstudios.com.au/  
perth@aspectstudios.com

Perth

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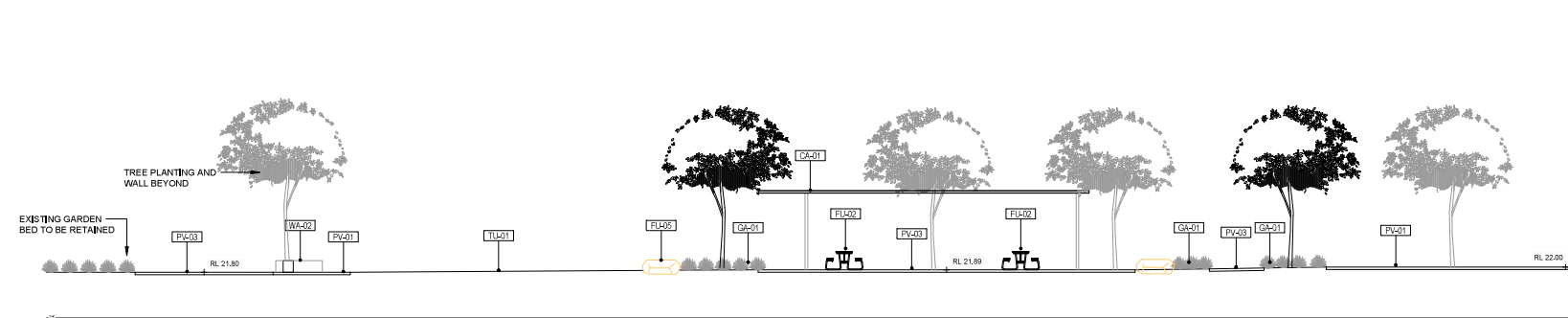
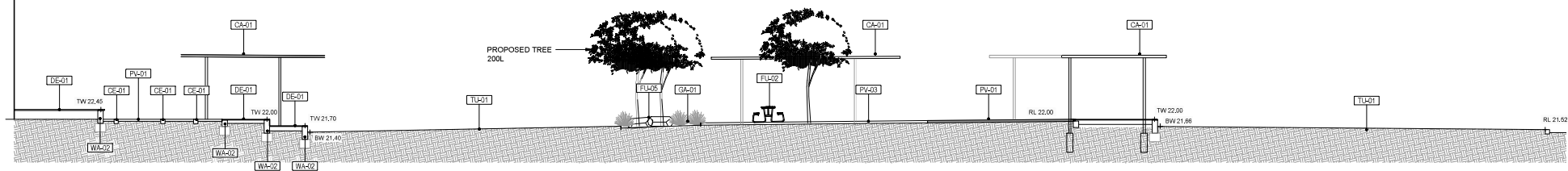


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Building Management and Works

RIDGEVIEW SECONDARY SCHOOL  
STAGE 2  
LANDSCAPE  
SECTION

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APPROVED	RG			
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DP Project No.		BRW FILE No.		LA-701 B





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Level 1, 1101 St Georges Terrace  
Perth WA 6000  
Australia  
P +61 8 924 690 282  
www.aspectstudios.com.au  
perth@aspectstudios.com

Perth

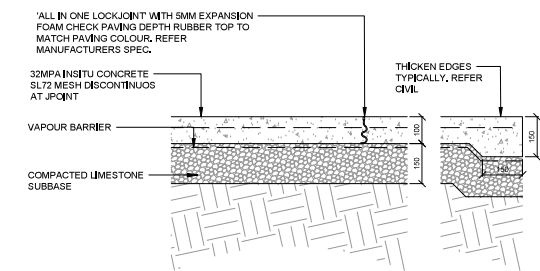
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RIDGEVIEW SECONDARY SCHOOL				
STAGE 2				
LANDSCAPE				
SECTIONS				
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GA-01

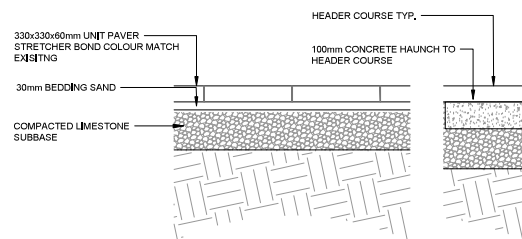


01

PV-01 INSITU CONCRETE

SECTION

SCALE 1:10

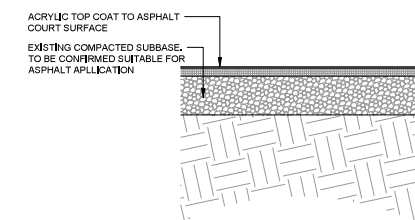


02

PV-02 UNIT PAVING

SECTION

SCALE 1:10

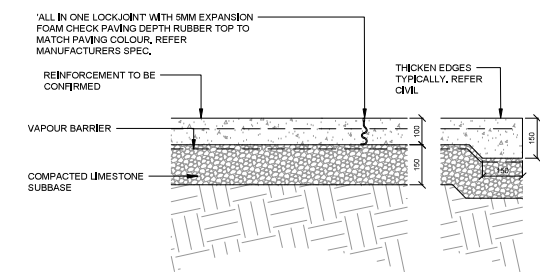


03

PV-03 ASPHALT AND ACRYLIC COURT SURFACE

SECTION

SCALE 1:10

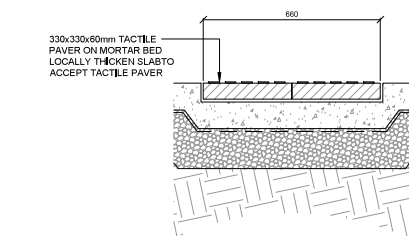


04

PV-04 LIQUID LIMESTONE

SECTION

SCALE 1:10

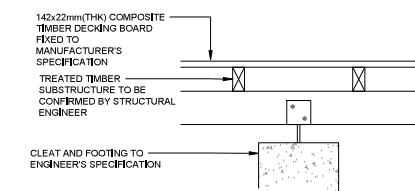


05

PV-05 TACTILE UNIT PAVER

SECTION

SCALE 1:10



06

DE-01 COMPOSITE TIMBER DECKING TYP

SECTION

SCALE 1:10

24.8.20	B	DRAFT D.D. FOR REVIEW		
20.8.20	A	DRAFT D.A. FOR REVIEW		
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ASPECT Studios Pty Ltd  
Level 1, 1101 St Georges Terrace  
Perth WA 6000  
Australia  
P +61 8 924 690 252  
www.aspectstudios.com.au  
perth@aspectstudios.com

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35 NORTHWOOD STREET,  
WEST LEEDESVILLE, WA 6007  
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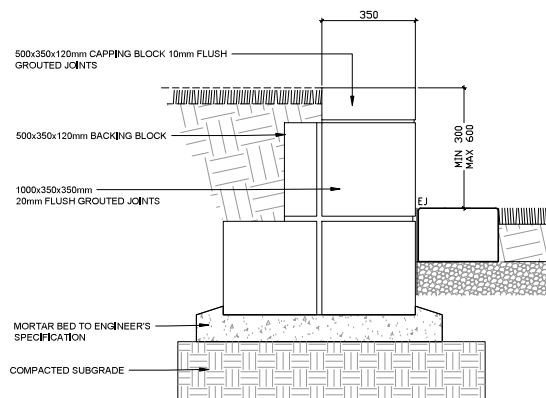
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RIDGEVIEW SECONDARY SCHOOL  
STAGE 2  
LANDSCAPE  
DETAILS

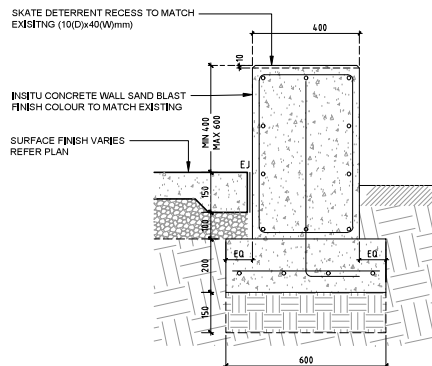
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DP Project No.		BRW FILE No.		LA-900 B



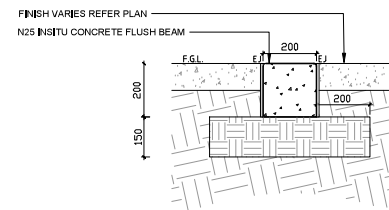




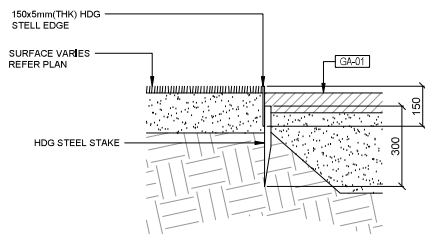
01 WA-01 RECONSTITUTED LIMESTONE BLOCK WALL  
SECTION  
SCALE 1:10



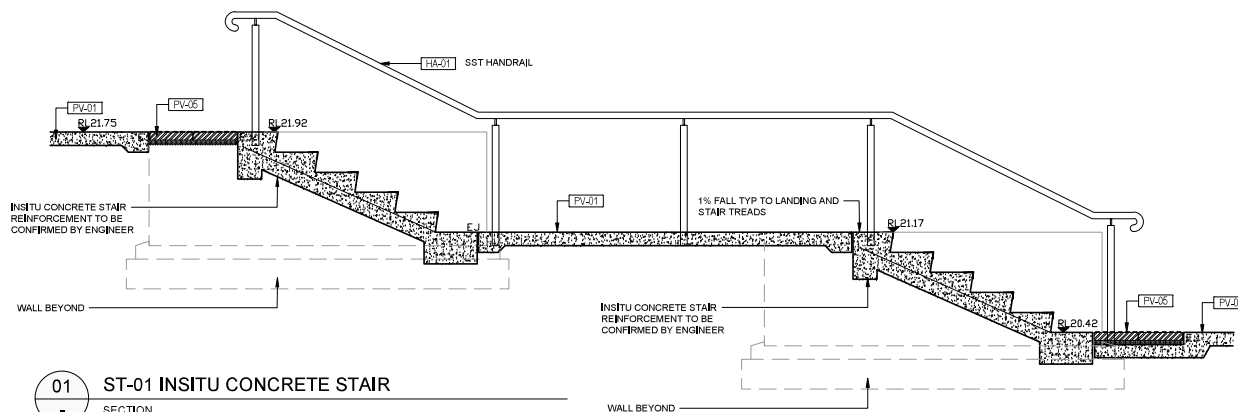
02 WA-02 INSITU CONCRETE WALL  
SECTION  
SCALE 1:10



03 CE-01 CONCRETE EDGE BEAM  
SECTION  
SCALE 1:10



01 SE-01 STEEL GARDEN EDGE  
SECTION  
SCALE 1:10



01 ST-01 INSITU CONCRETE STAIR  
SECTION  
SCALE 1:20

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Level 1, 1/101 St Georges Terrace  
Perth WA 6000  
Australia  
P +61 8 922 490 282  
www.aspectstudios.com.au  
perth@aspectstudios.com

Perth

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WEST LEEDESVILLE, WA 6007  
P. (08) 9382 8220



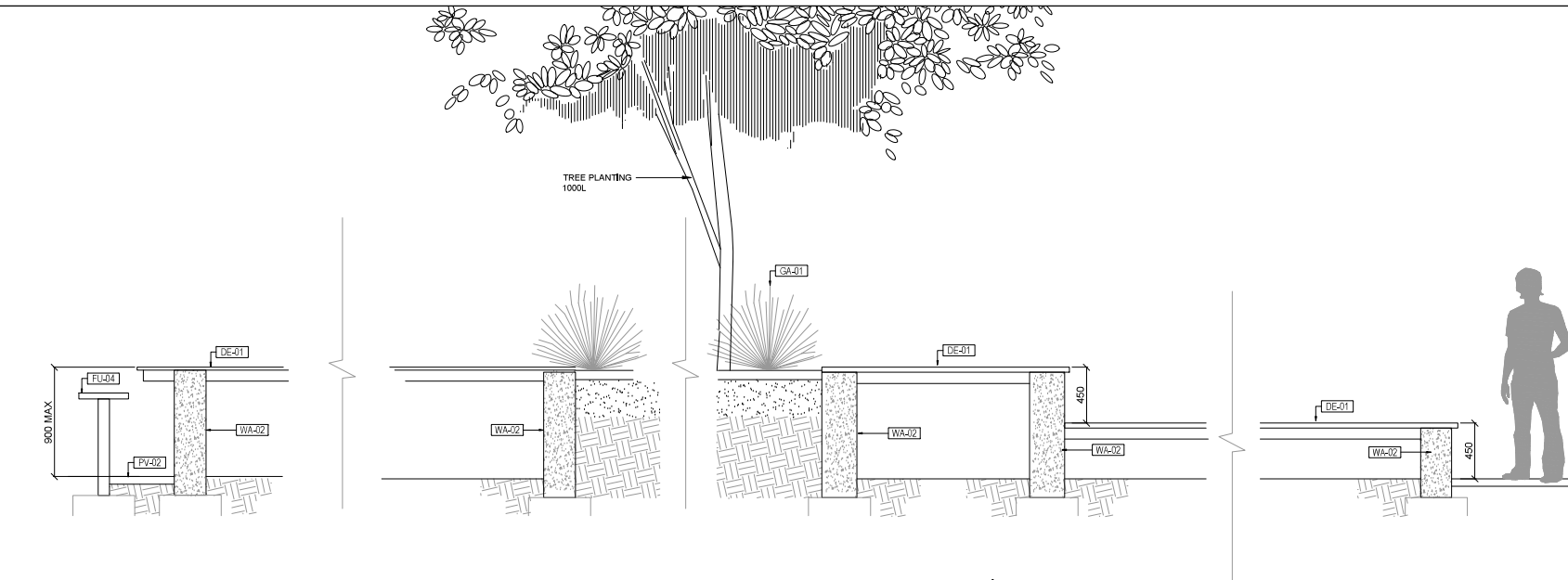
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RIDGEVIEW SECONDARY SCHOOL  
STAGE 2  
LANDSCAPE  
DETAILS

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DP Project No.		BRW FILE No.		LA-901 B



NORTH

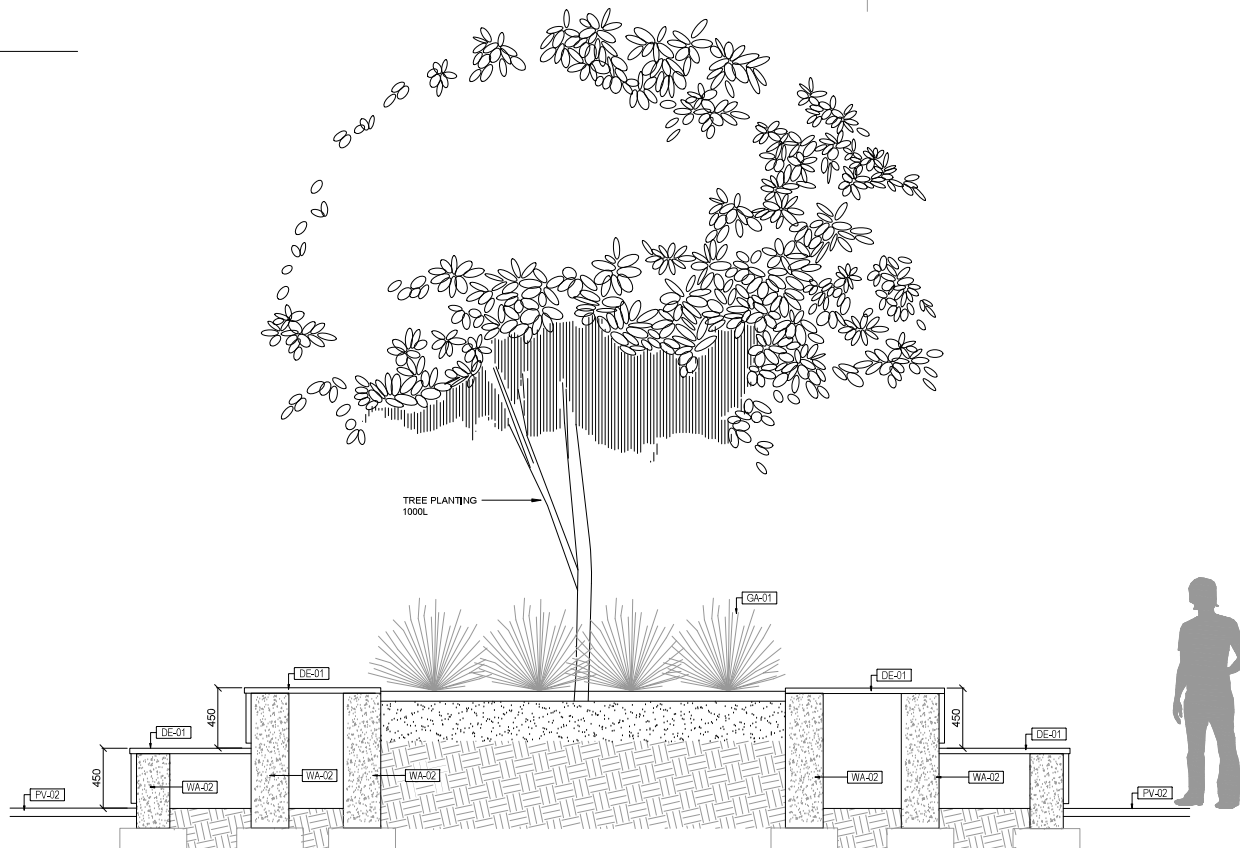


01

COMMUNAL SEATING DECK

SECTION

SCALE 1:20



02

COMMUNAL SEATING DECK

SECTION

SCALE 1:20

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ASPECT Studios

ASPECT Studios Pty Ltd

Level 1, 1/101 St Georges Terrace

Perth WA 6000

Australia

P 61 928 690 282

www.aspectstudios.com.au

perth@aspectstudios.com

Perth

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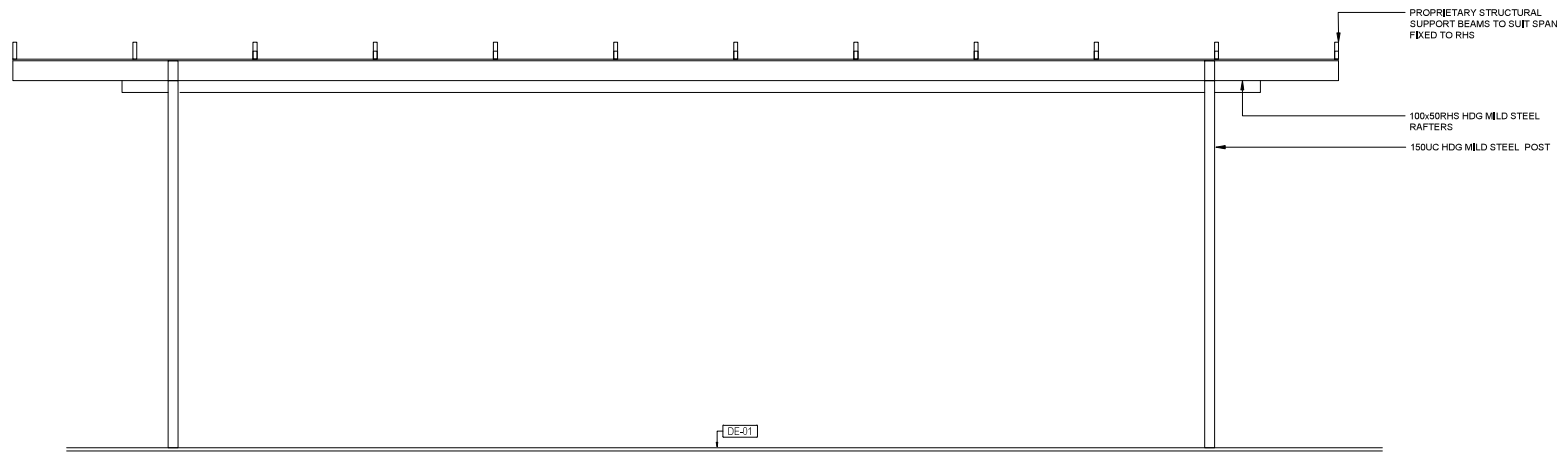
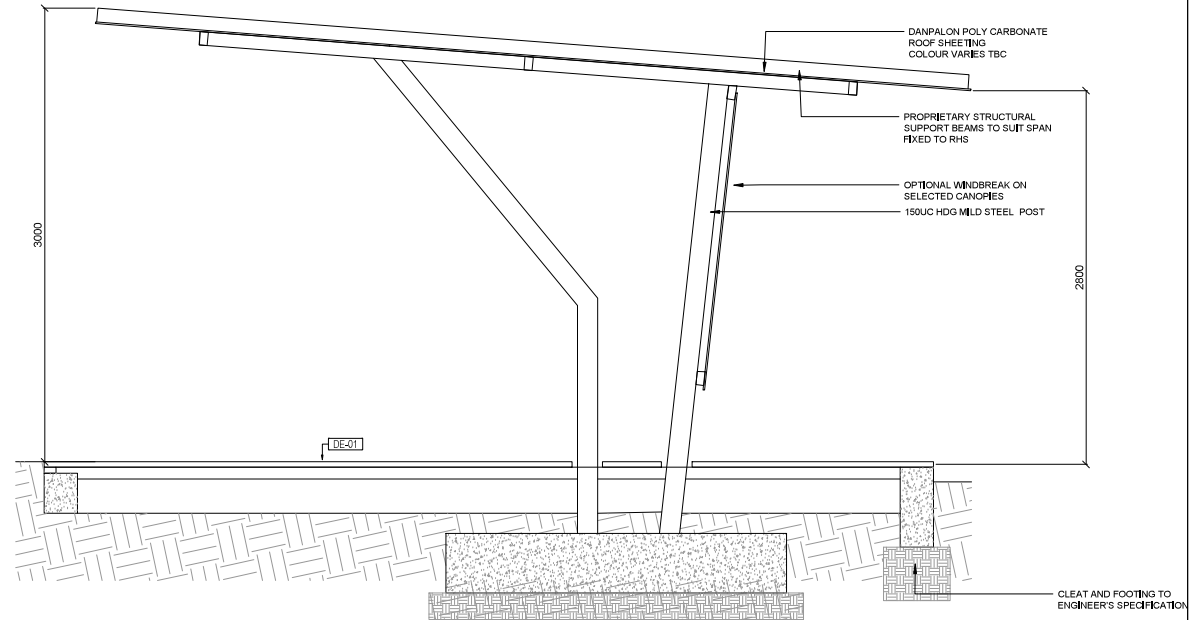
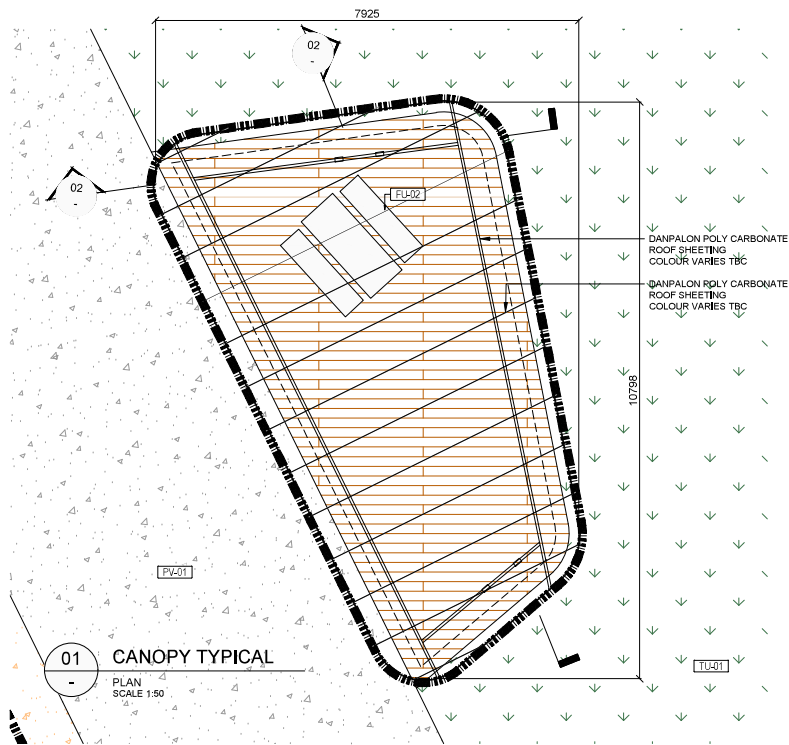
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RIDGEVIEW SECONDARY SCHOOL			
STAGE 2			
LANDSCAPE			
DETAILS			
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DP Project No.	BRW FILE No.		LA-903 B



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**ASPECT Studios**

ASPECT Studios Pty Ltd  
Level 1, 1/101 St Georges Terrace  
Perth WA 6000  
Australia  
P: 61 8 924 692 352  
www.aspectstudios.com.au  
perth@aspectstudios.com

Perth

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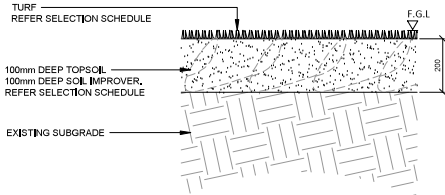
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RIDGEVIEW SECONDARY SCHOOL  
STAGE 2

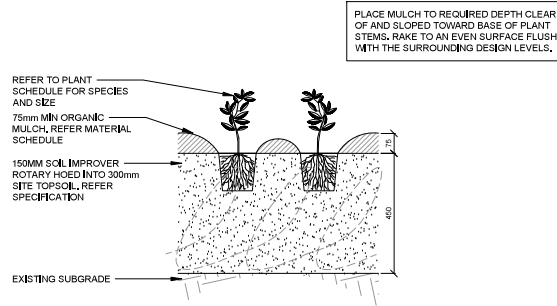
LANDSCAPE  
CANOPY DETAILS

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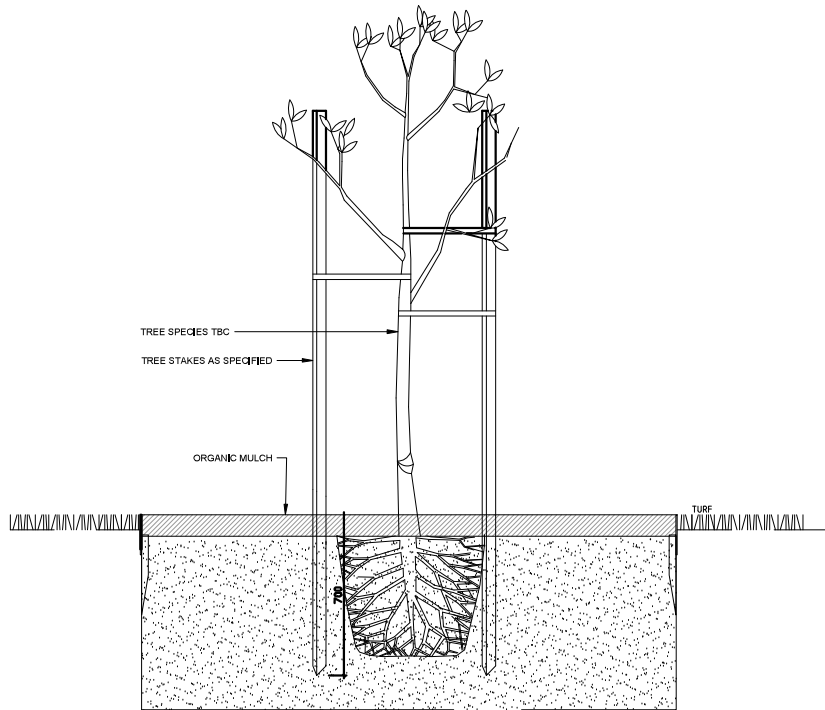
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07-Sep-2020	28-50197-2



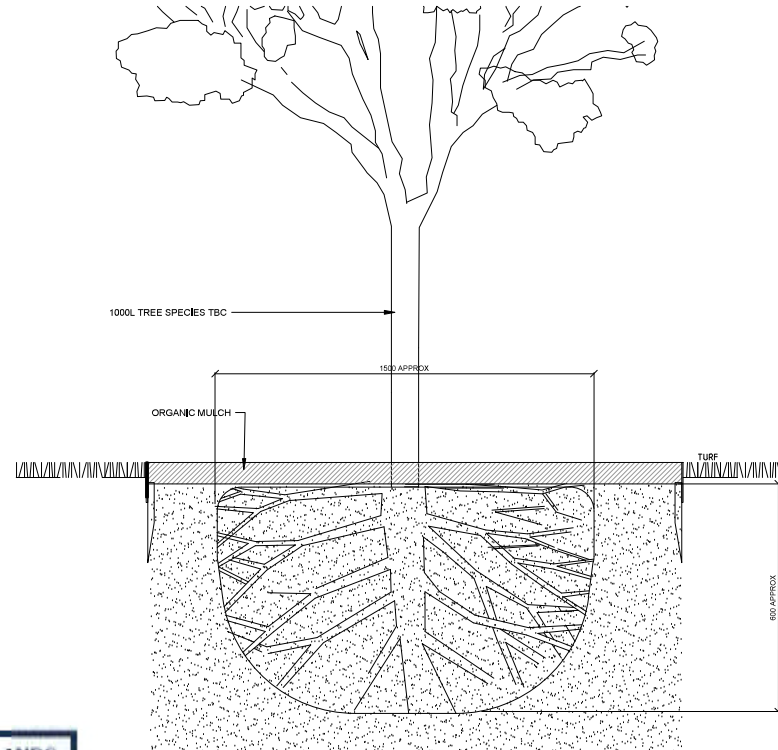
01 TU-01 TURF  
SECTION  
SCALE 1:10



02 GA-01 GARDEN BED  
SECTION  
SCALE 1:10



03 TREE PLANTING IN GARDEN BED TYP  
SECTION  
SCALE 1:10



04 1000L TREE PLANTING IN GARDEN BED TYP  
SECTION  
SCALE 1:10

DEPARTMENT OF PLANNING, LANDS AND HERITAGE

DATE 07-Sep-2020 FILE 28-50197-2

24.8.20	B	DRAFT DD FOR REVIEW	
20.8.20	A	DRAFT D.A. FOR REVIEW	
DATE	ISSUE	REVISION	RISK
			B

ASPECT Studios

ASPECT Studios Pty Ltd  
Level 1, 1/101 St Georges Terrace  
Perth WA 6000  
Australia  
P +61 8 922 490 202  
www.aspectstudios.com/au/  
perth@aspectstudios.com

Perth

BATEMAN ARCHITECTS

35 NORTHWOOD STREET,  
WEST LEEDESVILLE, WA 6007  
P (08) 9382 8220



Government of Western Australia  
Department of Treasury and Finance  
Building Management and Works

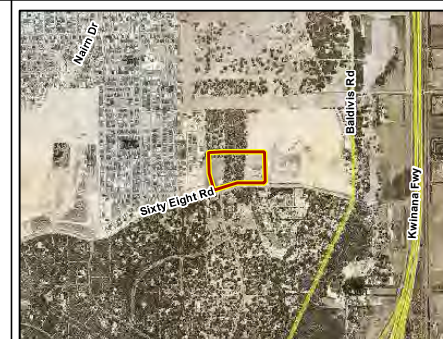
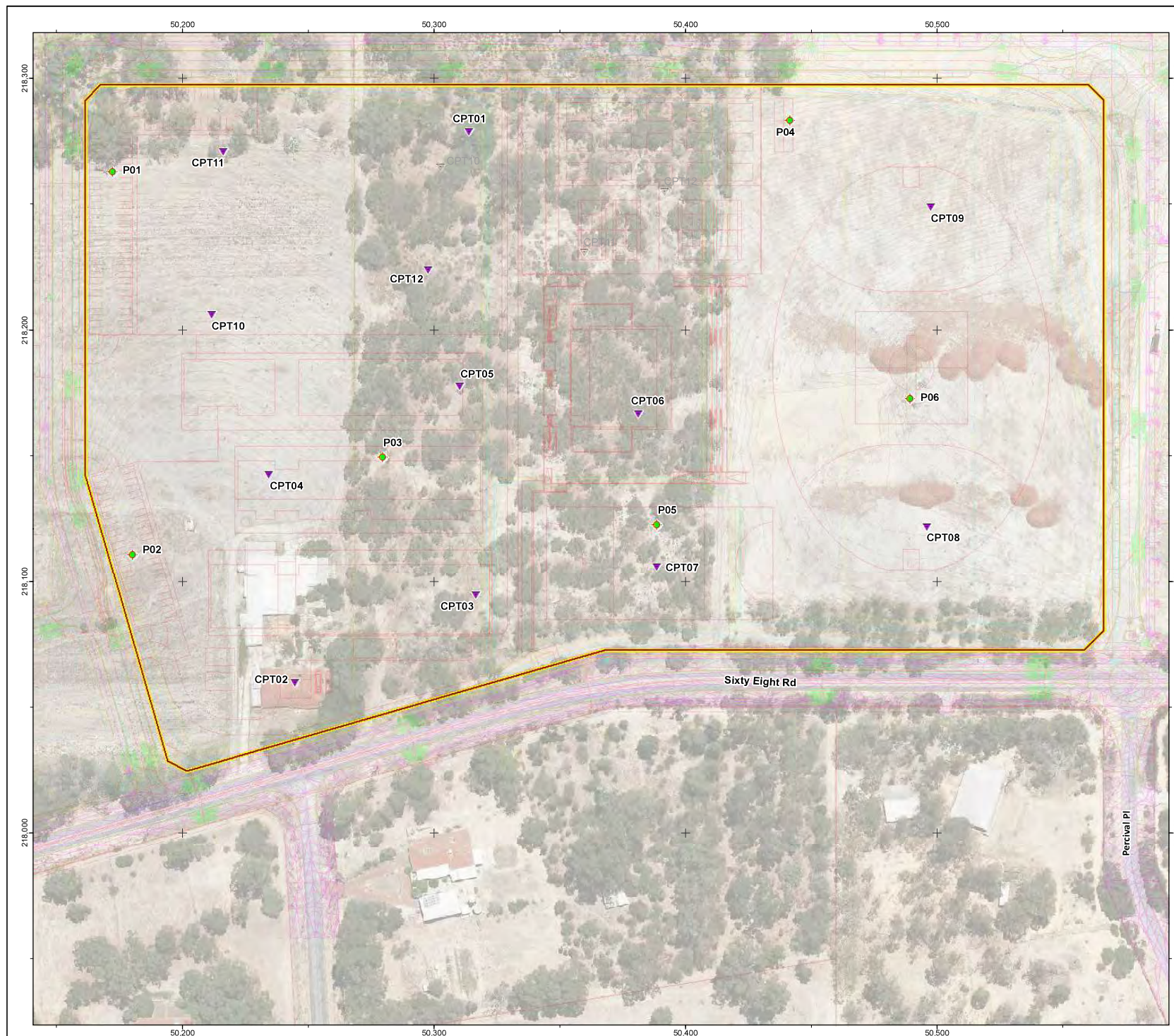
RIDGEVIEW SECONDARY SCHOOL  
STAGE 2  
LANDSCAPE  
PLANTING DETAILS

DRAWN	JHB	DESIGNED		REDUCED
CHECKED	RG	PRINCIPAL		
APPROVED	RG			
SCALE	1:250 @ A1	DATE	AUG 2020	DRAWING No.
DP Project No.		BRW FILE No.		LA-910 B

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## Figures





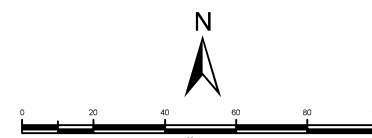
#### Legend

- Site Boundary
- ▼ Cone Penetration Test
- ◆ Hand Auger Borehole / Permeability Test

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	SCALE	1:1,500 (A3)
	DRAWN	DAC
	DATE DRAWN	1/06/2016
	CHECKED	PCW
	DATE CHECKED	01/06/2016
PROJECTION		GDA 1994 Perth Coastal Grid 1994



Galt Geotechnics Pty Ltd  
ACN : 138 490 865  
Tel : +61 (0)8 6272-0200  
Fax : +61 (0)8 9285 8444  
Address : U2, 39 Flynn Street,  
Wembley, WA, 6014

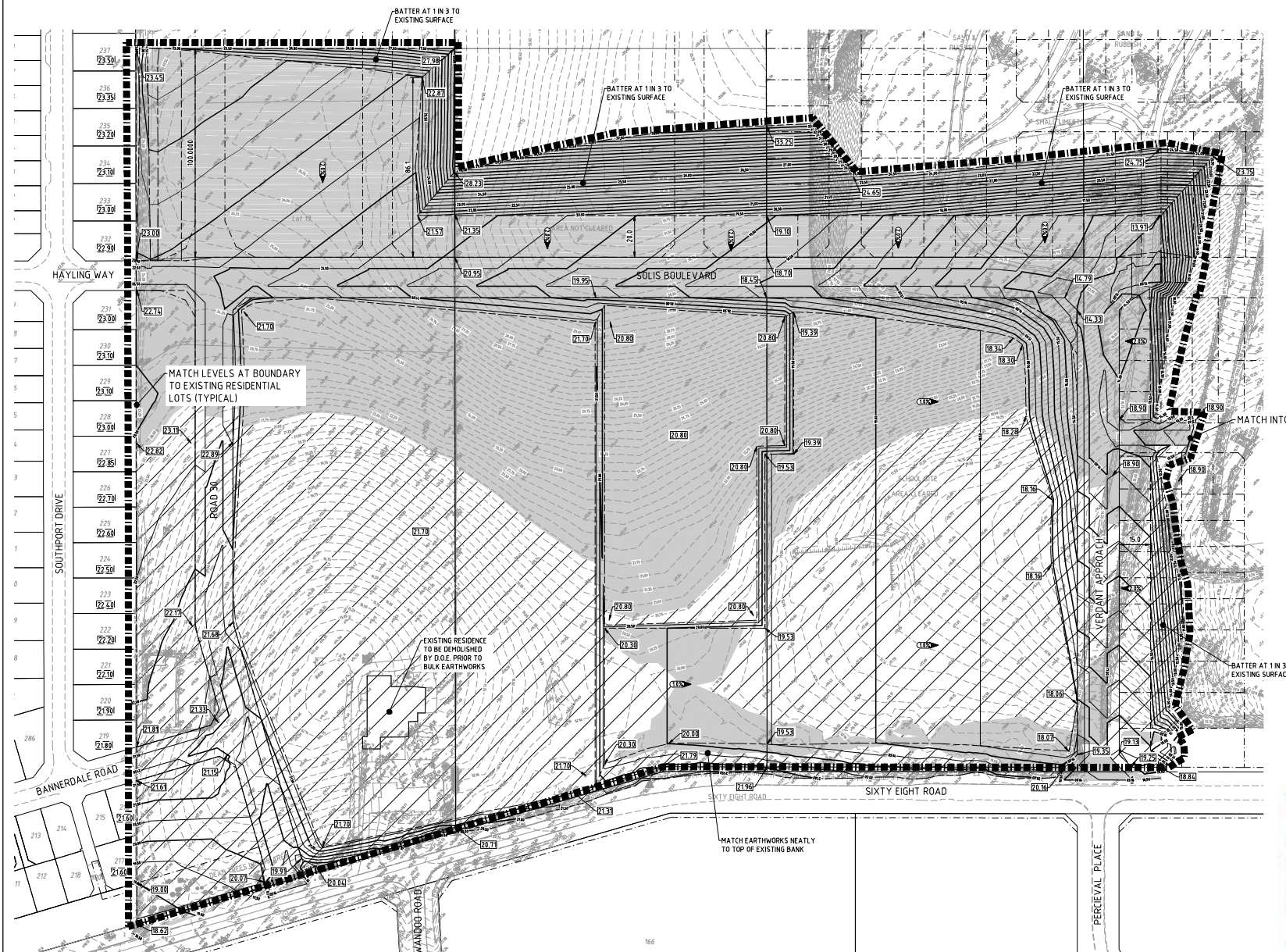
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CLIENT	OAKSTREET PROJECT MANAGEMENT	
PROJECT	PROPOSED SECONDARY SCHOOL	
LOCATION	PART LOTS 19, 20 & 21 SIXTY EIGHT ROAD BALDIVIS	
TITLE	SITE & LOCATION PLAN	
Job No	J1502017	Fig No
		FIGURE 1
		Rev
		A

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## Appendix A: Supplied Drawings





## NOTES

1. ALL CO-ORDINATES AND LEVELS SHOWN ON THIS DRAWING SHALL BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT WITHIN SEVEN DAYS.
2. SURVEY INFORMATION SUPPLIED BY WHELAN.
3. ALL HEIGHTS ARE TO AHD AND ALL LEVELS SHALL BE DERIVED FROM ESTABLISHED BENCHMARKS.
4. ALL BENCHMARKS ARE TO BE PROTECTED AND PRESERVED UNLESS NOTED ON PLANS.
5. ALL CONSTRUCTION WILL BE IN ACCORDANCE WITH THE SPECIFICATION AND ALSO THE REQUIREMENTS OF THE CITY OF ROCKINGHAM.
6. THE CONTRACTOR SHALL LIAISE WITH ALL RELEVANT AUTHORITIES TO LOCATE ALL EXISTING SERVICES WITHIN THE CONTRACT AREA PRIOR TO THE COMMENCEMENT OF WORK. SERVICES INFORMATION SHOWN ON THE DRAWINGS IS INDICATIVE ONLY AND MAY NOT BE COMPLETE. WHERE EXISTING AND PROPOSED WORKS CONFLICT, LEVELS ARE TO BE TAKEN AND SUPPLIED TO THE SUPERINTENDENT IMMEDIATELY.
7. CONTRACTOR TO OBTAIN COUNCIL APPROVAL AND PAY ALL FEES/BONDS PRIOR TO COMMENCEMENT OF WORKS WITHIN ROAD RESERVES.
8. CONTRACTOR SHALL NOTE THAT NON-TRAFFICABLE SUBTERRANEAN STRUCTURES (SOAKWELLS ETC.) MAY EXIST ON SITE. PRIOR TO EARTHWORKS COMMENCING, CONTRACTOR SHALL LOCATE ANY SOAKWELLS, SEPTIC TANKS, DELETERIOUS MATERIALS AND OTHER SUBTERRANEAN STRUCTURES. THESE MATERIALS AND STRUCTURES ARE TO BE REMOVED AND THE LOCATION BACKFILLED IN ACCORDANCE WITH PROCEDURES SET OUT IN SPECIFICATION (IF APPLICABLE). THE SUPERINTENDENT IS TO BE ADVISED OF ANY UNUSED PIPE WORK ENCOUNTERED.
9. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING TO EXISTING LOTS AS REQUIRED.
10. CONTRACTOR TO PREPARE AND OBTAIN APPROVAL FROM LOCAL AUTHORITY FOR DUST MANAGEMENT PLAN.
11. THE CONTRACTOR SHALL MAINTAIN PROPER SITE DRAINAGE TO ALL AREAS THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL BE RESPONSIBLE FOR MAINTAINING EXCAVATIONS IN A SAFE AND STABLE CONDITION AT ALL TIMES.
12. TOPSOIL IS TO BE STRIPPED AND MANAGED IN ACCORDANCE WITH THE SPECIFICATION OR AS NOTED ON THE DRAWING.
13. ALL ROOTS, BOULDERS AND ANY OTHER DELETERIOUS MATERIAL SHALL BE TOTALLY REMOVED TO A DEPTH OF 600mm BELOW THE LOWER OF THE NATURAL/CUT SURFACE.
14. ALL BATTERS TO BE NOMINALLY 1 IN 6, OR FLATTER, U.S.D.
15. ALL FILL SHALL BE CLEAN AND BE FREE FROM DELETERIOUS AND/OR ORGANIC MATERIAL.
16. FILL SELECTED BY THE CONTRACTOR TO BE TESTED BY A REGISTERED MATERIALS TESTING LAB AND RESULTS PROVIDED TO THE SUPERINTENDENT.
17. PENETROMETERS USED FOR TESTING MUST BE CALIBRATED FOR SITE AND RECALIBRATED FOR IMPORTED FILL AS REQUIRED.
18. ALL FILL SHALL BE PLACED IN UNIFORM LAYER NOT EXCEEDING 300mm THICKNESS AND COMPACTED TO A DENSITY NOT LESS THAN 95% M.M.D. REFER TO SPECIFICATION FOR DETAILED INFORMATION.
19. CONTRACTOR TO COMPLETE ALL BACKFILLING AND EARTHWORKS REQUIRED TO ACHIEVE LEVELS SHOWN.
20. THE SITE IS TO BE LEFT CLEAN AND FREE OF RUBBISH/DEBRIS UPON COMPLETION OF WORKS.
21. THE ADJACENT BOUNDARIES AND FEATURES TO BE SEAMLESS.
22. AS CONSTRUCTED DRAWINGS ARE TO BE PREPARED TO THE REQUIREMENTS OF THE SPECIFICATION.

## LEGEND

- CUT EXTENTS
- FILL EXTENTS
- EARTHWORKS BOUNDARY
- 1m BOXOUT CONTOUR
- 0.5m BOXOUT CONTOUR
- EDGE OF BATTER
- RETAINING WALL
- EXISTING CONTOUR
- DESIGN LEVEL
- FINISHED PAD LEVEL
- EXISTING PAD LEVEL

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AND HERITAGE

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W.A.P.C 152961, 152805, 151913

DEPARTMENT OF EDUCATION  
BALDIVIS SOUTH SECONDARY SCHOOL  
BULK EARTHWORKS PLAN

REV	BY	CHK	DATE	DESCRIPTION	REV	BY	CHK	DATE	DESCRIPTION
B	JAS	RD	31/05/16	ISSUED FOR INFORMATION					
A	RT	MRI	09/03/16	ISSUED FOR INFORMATION					

ISSUED FOR  
COUNCIL APPROVAL



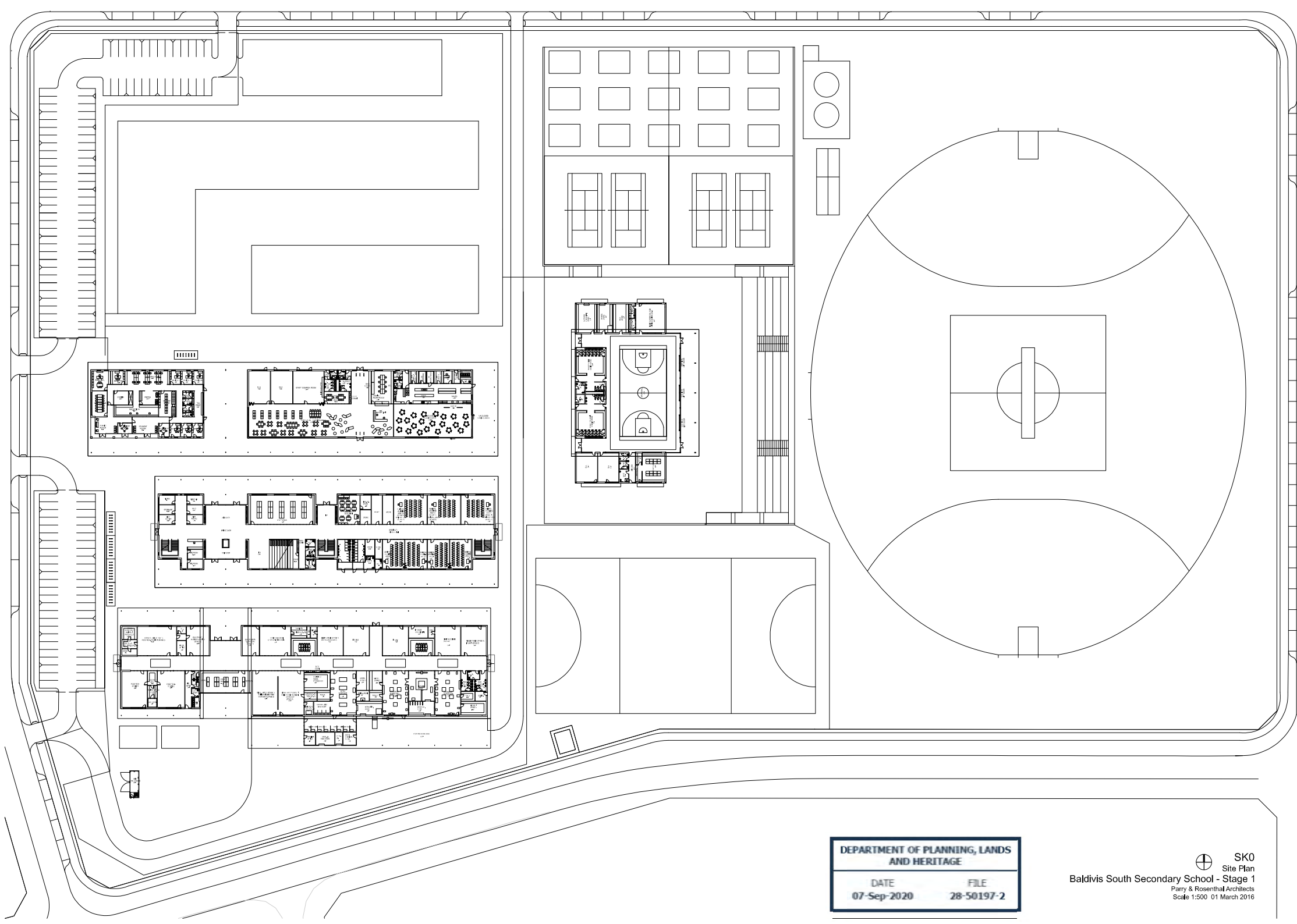
Level 1, 430 Roberts Road  
PO Box 2180  
Subiaco WA 6004  
Telephone: (08) 9382 8111  
Facsimile: (08) 9382 8196  
admin@prf.com.au  
ACN: 028 881 094

DATE	DESIGNED	RT
FEBRUARY 2016		
DRAWN	CHECKED	MRI
JAS		

SCALE	VERTICAL COORDINATE SYSTEM	UNIT	REVISION
1:1000	AHD	PCG94	
DATE	DESIGNED	RT	
FEBRUARY 2016			
DRAWN	CHECKED	MRI	
JAS			
SCALE	VERTICAL COORDINATE SYSTEM	UNIT	REVISION
1:1000	AHD	PCG94	
DATE	DESIGNED	RT	
FEBRUARY 2016			
DRAWN	CHECKED	MRI	
JAS			

15412-C1-EW-01

B



## Appendix B: Site Photographs

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Photograph 1: South of Lot 19 (old market garden) looking west

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Photograph 2: North of Lot 19 (old market garden) looking south





Photograph 3: Typical vegetation across Lot 20

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Photograph 4: North of Lot 21 looking south





Photograph 5: South of Lot 21 looking north

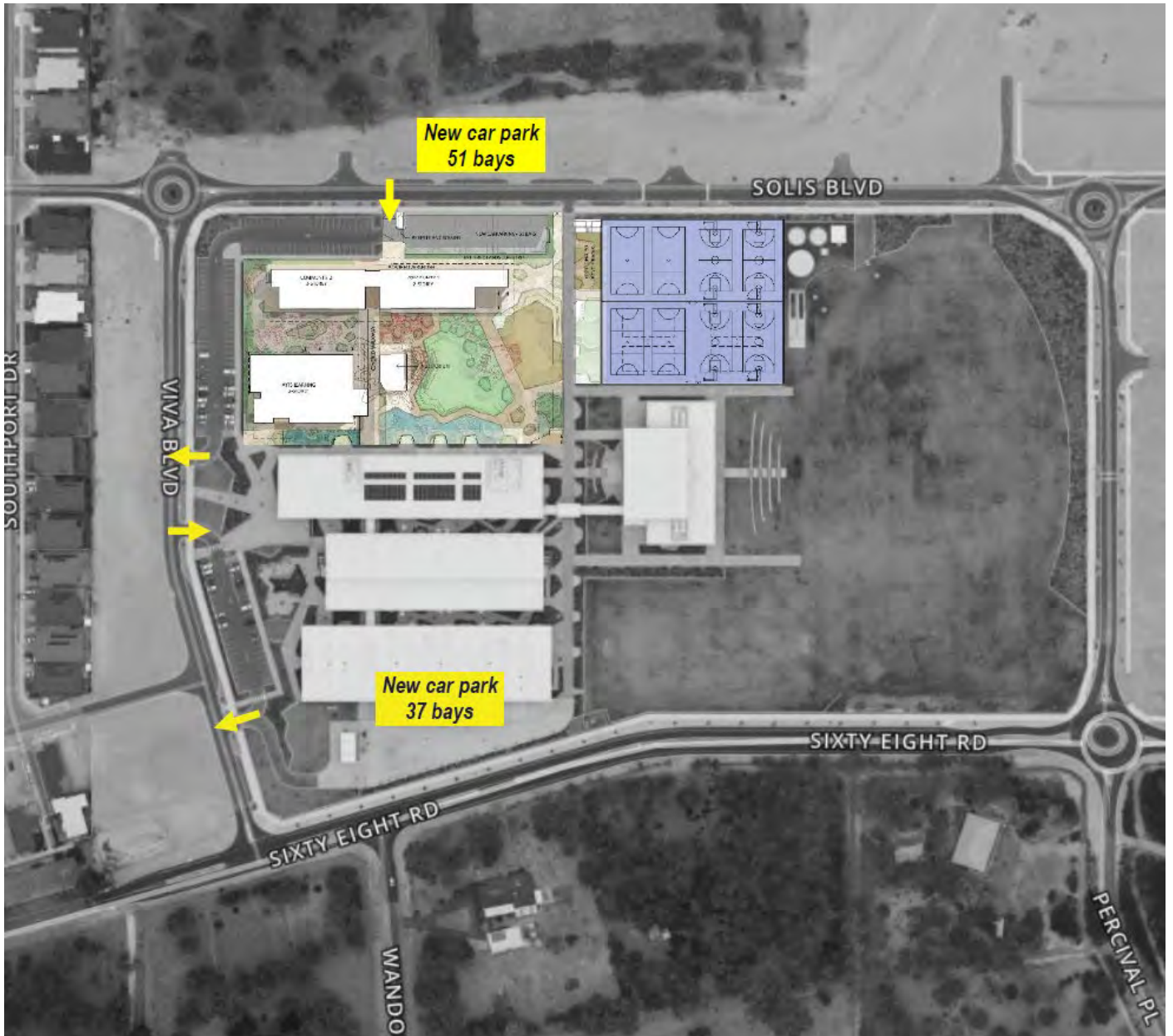
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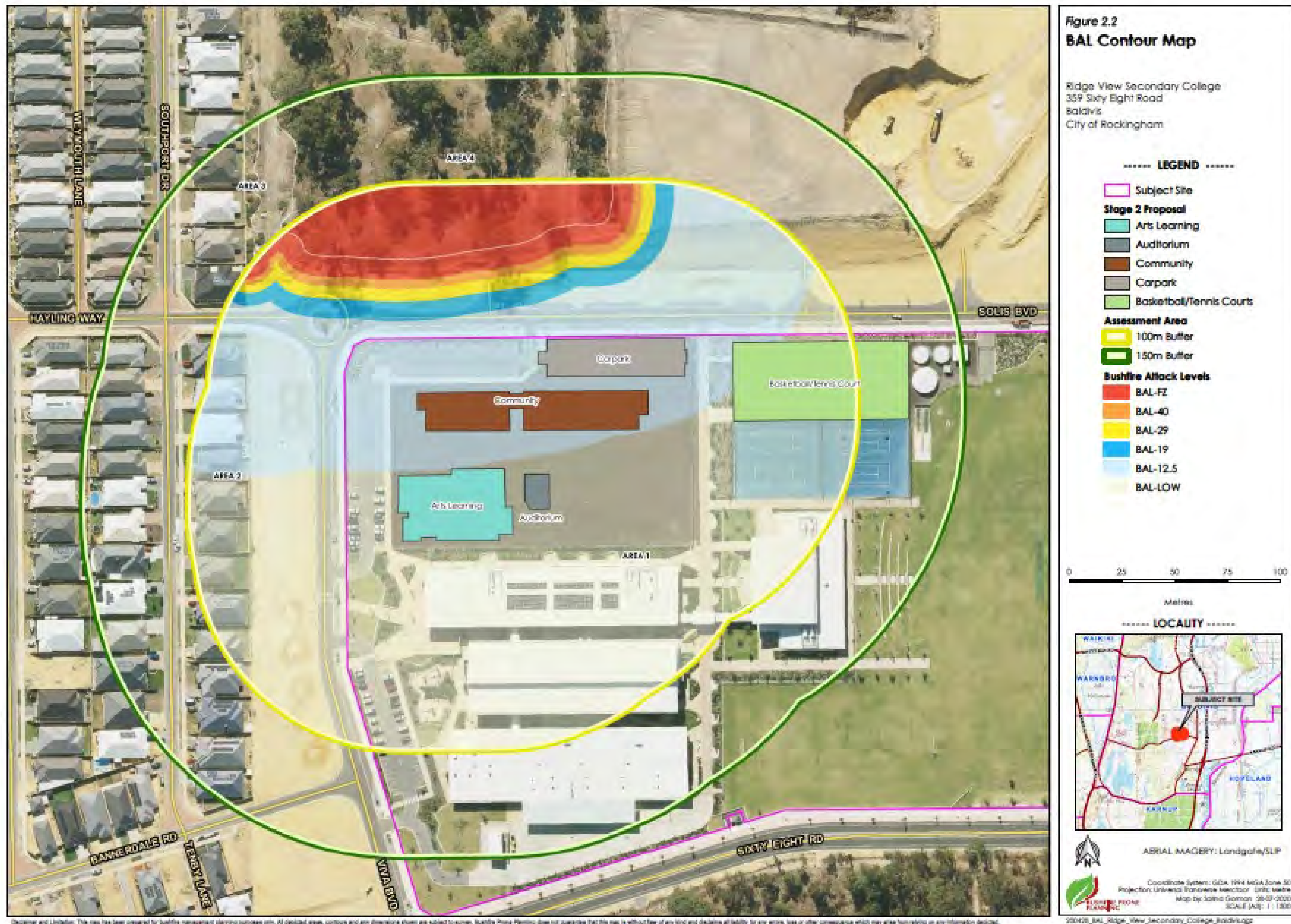


Photograph 6: General waste within Lot 21



PROPOSED ADDITIONAL PARKING





BUSHFIRE ATTACK LEVEL CONTOUR MAP