



## **Metro South-West Joint Development Assessment Panel Agenda**

**Meeting Date and Time:** Tuesday 11 December 2012, 2pm  
**Meeting Number:** 12  
**Meeting Venue:** City of Kwinana  
Cnr Gilmore Avenue and Sulphur Road Kwinana

### **Attendance**

#### **DAP Members**

Mr Neil Foley (Presiding Member)  
Ms Rachel Chapman (Deputy Presiding Member)  
Mr Rob Nicholson (Specialist Member)  
Cr Richard Smith (Local Government Member, City of Rockingham) – Item 8.1  
Mayor Logan Howlett (Local Government Member, City of Cockburn) – Item 8.2  
Deputy Mayor Kevin Allen (Local Government Member, City of Cockburn) – Item 8.2  
Mayor Carol Adams (Local Government Member, City of Kwinana) – Item 8.3, 8.4  
Cr Ruth Alexander (Local Government Member, City of Kwinana) – Item 8.3, 8.4

#### **Officers in attendance**

Mr Craig Shepherd (Department of Planning)  
Mr Neil Fox (Department of Planning)  
Ms Frances Page-Croft (Department of Planning)  
Ms Anika Chhabra (Department of Planning)  
Mr Mike Ross (City of Rockingham)  
Mr Regan Travers (City of Rockingham)  
Mr Bob Jeans (City of Rockingham)  
Ms Sharon Peacock (City of Rockingham)  
Mr Andrew Lefort (City of Cockburn)  
Mr Greg Bowering (City of Cockburn)  
Ms Felicitas Dhliwayo (City of Kwinana)  
Mr Brenton Scambler (City of Kwinana)

#### **Applicants, Submitters and Members of the Public**

Ms Amanda Butterworth (Allerding & Associates)  
Mr Daniel Stevens (Water Corporation)  
Mr Andrew Baker (Water Corporation)  
Mr Neil Tao (Dynamic Planning)  
Ms Emma Jeans (Dynamic Planning)  
Mr David Burrows (Sims Metal)

#### **Local Government Minute Secretary**

Mr Paul Neilson (City of Kwinana)

### **1. Declaration of Opening**



The Presiding Member declares the meeting open and acknowledges the past and present traditional owners and custodians of the land on which the meeting is being held.

**2. Apologies**

Nil

**3. Members on Leave of Absence**

Nil

**4. Noting of Minutes**

Note the minutes of the Metro South-West JDAP meeting no.11 held on the 22 October 2012.

**5. Disclosure of Interests**

<b>Member/Officer</b>	<b>Report Item</b>	<b>Nature of Interest</b>
Ms Rachel Chapman	8.3	Indirect Pecuniary
Mr Neil Foley	8.4	Indirect Pecuniary

**6. Declarations of Due Consideration**

Any member who is not familiar with the substance of any report or other information provided for consideration at the DAP meeting must declare that fact before the meeting considers the matter.

**7. Deputations and Presentations**

Nil

**8. Form 1 - Responsible Authority Reports – DAP Applications**

<b>8.1a</b>	Application Details:	Proposed Sewerage Main for Disposal of Treated Sewerage
	Property Location:	Lots 44, 1598, 1637 and 1638 Fisher Street Rockingham
	Applicant:	Allerding and Associates
	Owner:	Water Corporation
	Responsible authority:	City of Rockingham
	Report date:	16 November 2012
	DoP File No:	DP/12/01119
<b>8.1b</b>	Application Details:	Construction of a 3.8km Duplicate Sewerage Pipeline for the Sepia Depression Ocean Outlet Landline
	Property Location:	Lots 1637 and 1638 Fisher Street, Lot 1530 Lake Street Rockingham. Lots 2732 and 2733 Peron Road Peron. (collectively Crown Reserve 42518)
	Applicant:	Allerding and Associates
	Owner:	Water Corporation Crown Land with



Responsible authority: Management Order to Water Corporation  
Report date: Western Australian Planning Commission  
20 November 2012  
DoP File No: DP/12/01119

**8.2** Application Details: Proposed Warehouse/Distribution Centre  
Property Location: Lot 691 (No.24) Selkis Road Bibra Lake  
Applicant: Dynamic Planning and Development  
Owner: Primewest No 168 Pty Ltd  
Responsible authority: City of Cockburn  
Report date: 27 November 2012  
DoP File No: DP/12/01164

**8.3** Application Details: Proposed Retail/Commercial Development  
Property Location: Lots 211 and 535 The Strand Wellard  
Applicant: Taylor Burrell Barnett  
Owner: Department of Housing  
Responsible authority: City of Kwinana  
Report date: 15 November 2012  
DoP File No: DP/12/01197

**8.4a** Application Details: Proposed General Industry – Metal  
Recycling Facility and Associated Office /  
Administration Building  
Property Location: Lot 14 Mason Road (Proposed Lot 100  
Donaldson Road), Kwinana Beach  
Applicant: ADC Projects  
Owner: WA Land Authority - Landcorp  
Responsible authority: City of Kwinana  
Report date: 30 November 2012  
DoP File No: DP/12/00921

**8.4b** Application Details: Proposed General Industry – Metal  
Recycling Facility and Associated Office /  
Administration Building  
Property Location: Lot 14 Mason Road (Proposed Lot 100  
Donaldson Road), Kwinana Beach  
Applicant: ADC Projects  
Owner: WA Land Authority - Landcorp  
Responsible authority: City of Kwinana  
Report date: 28 November 2012  
DoP File No: DP/12/00921

**9. Form 2 – Responsible Authority Reports - Amending or cancelling DAP development approval**

Nil

**10. Appeals to the State Administrative Tribunal**

Nil

**11. Meeting Closure**



## Form 1 - Responsible Authority Report (Regulation 12)

<b>Application Details:</b>	Proposed Sewerage Main for Disposal of Treated Sewerage
<b>Property Location:</b>	Lots 44, 1598, 1637 and 1638 Fisher Street Rockingham
<b>DAP Name:</b>	Metro South-West
<b>Applicant:</b>	Allerding & Associates
<b>Owner of Property:</b>	Water Corporation
<b>LG Reference:</b>	20.2012.236.1
<b>Reporting Agency:</b>	City of Rockingham
<b>Authorising Officer:</b>	Mr Regan Travers, Planning Officer
<b>Application No and File No:</b>	DP/12/01119
<b>Report Date:</b>	16th November 2012
<b>Application Receipt Date:</b>	3rd October 2012
<b>Application Process Days:</b>	60
<b>Attachment(s):</b>	1 – Development Plans – received 3rd October 2012

### Recommendation:

That the Metro South-West Joint Development Assessment Panel resolves to:

**Approve** DAP Application reference 12/1119 received on the 3rd October 2012 in accordance with Clause 6.7.1(a) of the *City of Rockingham Town Planning Scheme No.2*, subject to the following conditions:

1. A Construction Environmental Management Plan (CEMP) must be prepared prior to commencement of works, and include the following Management Plans, to the satisfaction of the City:
  - Traffic Management Plan;
  - Dust and Noise Management Plan;
  - Dewatering Management Plan;
  - Safety Management Plan (i.e. fencing etc); and
  - Laydown and Storage Area Management Plan for works occurring outside the pipeline corridor.

The CEMP must be implemented for the duration of pipeline construction.

2. Footpaths, grass, trees and irrigation infrastructure removed by the Water Corporation must be reinstated at the Water Corporation's cost, to the satisfaction of the City.
3. Prior to works commencing, the Water Corporation must ensure there is advance public notice of the proposed works to nearby property owners and occupiers including a public enquiry line for information and for receiving construction works related complaints, for the duration of works.

## Background:

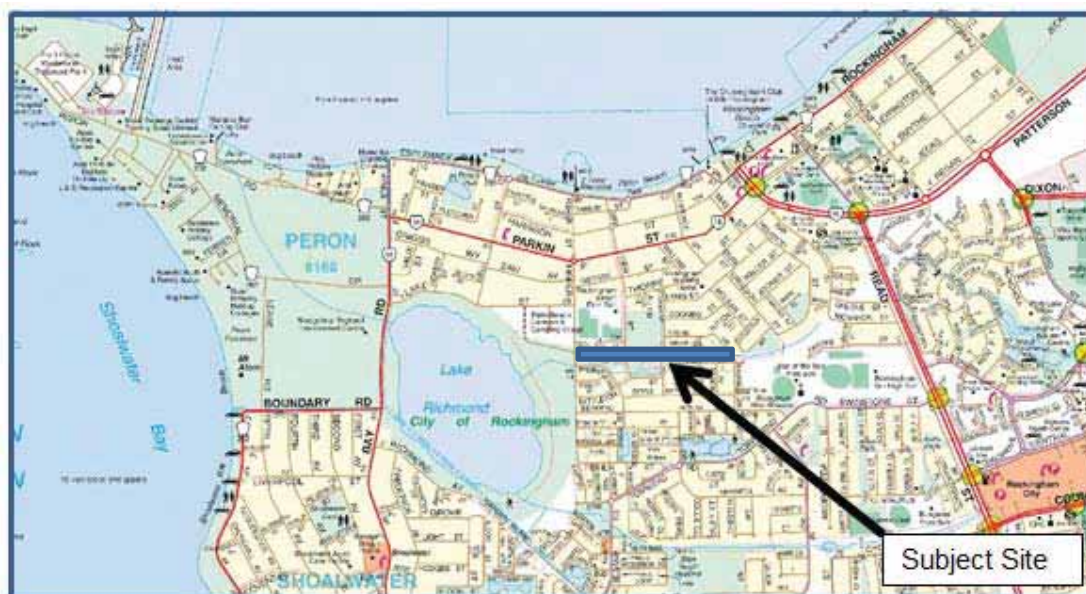
Property Address:	Lots 44, 1598, 1637 and 1638 Fisher Street Rockingham
Zoning	MRS: Urban
	TPS2: Development (DA1), Public Purposes
Use Class:	Public Utility
Strategy Policy:	Nil
Development Scheme:	Town Planning Scheme No.2 (TPS2)
Lot Size:	Approximately 1.54ha
Existing Land Use:	Public Utility & Parkland
Value of Development:	\$ 4,400,000 (total cost - \$19.97 million)

The Sepia Depression Ocean Outlet Landline (SDOOL) currently services the Woodman Point Waste Water Treatment Plant (Woodman Point WWTP), Kwinana WWTP and the Kwinana Water Reclamation Plant. The future East Rockingham WWTP will discharge to the SDOOL.

The 23.8km SDOOL pipeline conveys treated wastewater from the Woodman Point WWTP to Cape Peron and it is the only environmentally accepted outlet for the Woodman Point WWTP. The SDOOL currently transports more than 40% of treated wastewater in the Perth metropolitan region.



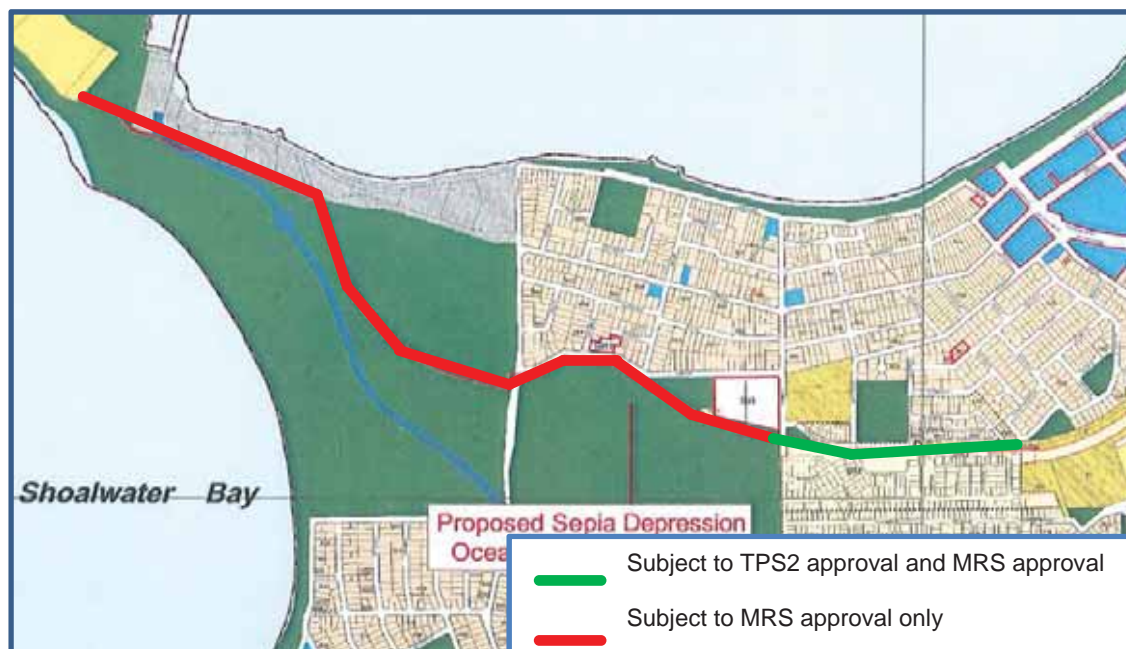
Figure 1 – SDOOL Network



**Figure 2 - Location Plan**

### Details

The proposal includes the duplication of a 3.8km long section of the SDOOL pipeline, referred to in this report as the duplicate pipeline. The SDOOL pipeline currently extends from Woodman Point WWTP to the land pipeline pressure main at the Point Peron WWTP, a distance of 23.8km.



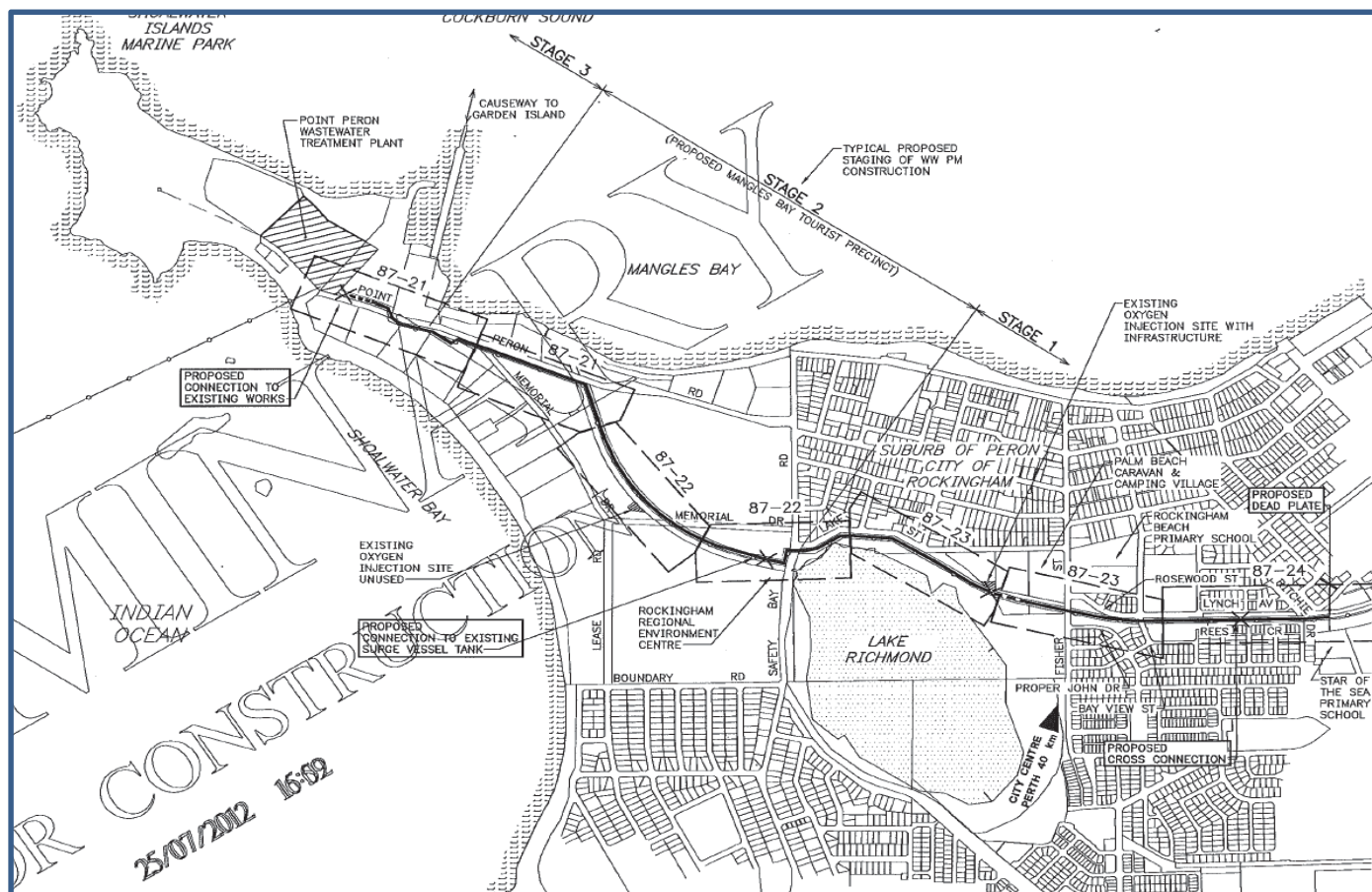
**Figure 3 – Site Plan**

The duplicate pipeline is required as an alternative to the current SDOOL, as the southern 3.8km section is in need of repair and is at risk of failure. The duplicate pipeline will provide additional hydraulic capacity to the current SDOOL system, which is reaching its maximum capacity and will provide an outlet for treated waste water from the future East Rockingham WWTP. The duplicate pipeline is a single



1400mm diameter buried pipe and will be buried approximately 5.45m from the current SDOOL.

The duplicate pipeline works will be split into three stages in accordance with Figure 4 below.



**Figure 4 – Staging Plan**

Temporary works are proposed on adjacent land as part of the construction phase, including clearing for lay down areas for temporary storage and clearing for minor access roads for construction purposes. The applicant has advised that all temporary works will be undertaken in agreement with the relevant owners and authorities responsible for the land.

## **Legislation & Policy**

### Legislation

#### *Public Works*

The duplicate pipeline works are a 'public utility', but as the Water Corporation is not a section 6 body for the purposes of the *Planning and Development Act 2005*, it can't claim an exemption of the requirement for planning approval under the Metropolitan Region Scheme and TPS2. The Water Corporation is not an agent of the Crown.

#### *Town Planning Scheme No.2*

Pursuant to clause 2.1.2 of TPS2, planning approval is not required for the commencement of development on a Regional Reserve under TPS2.

*“2.1.2 The approval of Council under the Scheme is not required for the commencement or carrying out of any use or development on a Regional Reserve. The provisions of the Metropolitan Region Scheme continue to apply to such Reserves and approval is required under the Metropolitan Region Scheme from the Commission for the commencement or carrying out of any use or development on a Regional Reserve, unless specifically excluded by the Region Scheme.”*

Pursuant to clause 6.1.2 of TPS2, planning approval is not required for the development of land, where the use is reserved under TPS2 and the land is held by the public authority.

*“6.1.2 The planning approval of the Council is not required for the following use or development of land:-*

- (a) the use of land reserved under the Scheme, where such land is held by the Council or vested in a public authority;*
  - (i) for the purposes for which the land is reserved under the Scheme; or*
  - (ii) in the case of land vested in a public authority, for any purposes for which such land may be lawfully used by that authority.”*

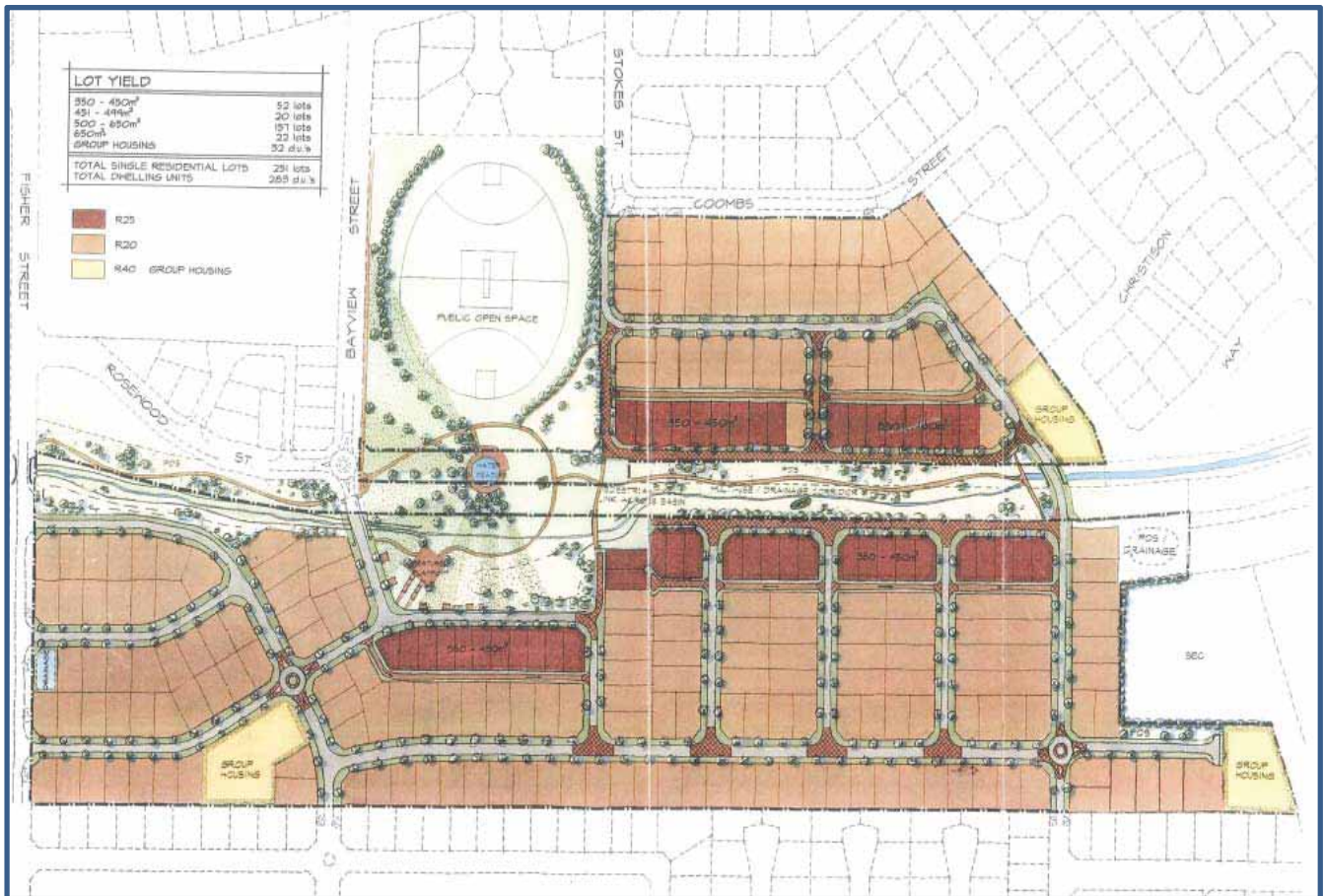
Planning approval is required pursuant to clause 4.2.4(e) of TPS2 due to a portion of the land required for the pipeline, although vested in the Water Corporation, is zoned ‘Development’ under TPS2 and is not reserved under TPS2.



**Figure 5 – Zoning Map**

The subject land is included within Development Area No.1 and is subject to the Palm Beach Structure Plan. The Palm Beach Structure Plan was approved by the WAPC on the 7th December 1999. The pipeline corridor falls outside the Structure Plan boundary but was notionally shown as a multi-use drainage corridor.





**Figure 6 – Palm Beach Structure Plan**

### **State Government Policies**

Nil

### **Local Policies**

Nil

### **Consultation/Referrals:**

#### Public Consultation

As the Water Corporation has advised that it has engaged the relevant local community to keep it informed, the City has not advertised the application for public comment. Methods to keep the local community informed have included community meetings, newsletters and announcements on the Water Corporation website. A project team was formed by the Water Corporation and provided specific contacts to enable community members to speak directly to the project team.

Technical studies undertaken by the Water Corporation include a Social Impact Assessment (SIA). The SIA identified and assessed both potential and real perceived impacts on the surrounding community during the pipeline construction period. The SIA was not provided with the application but is available from the Water Corporation.

#### Consultation with other Agencies or Consultants

Nil.

### **Planning assessment:**

The proposed 'Public Works' are consistent with the existing infrastructure within the pipeline corridor which is under the management and control of the Water Corporation.

### Assets

The City and former land developers of adjacent estates have installed, over time, public infrastructure over parts of the pipeline corridor. The City has maintained the pipeline corridor and the adjoining public open space for several years. The pipeline corridor has both aesthetic and recreational value because local parks have been landscaped such that there is no delineation between the pipeline corridor and public open space.



**Figure 7 – Aerial photo of existing community infrastructure within the pipeline easement**

Figure 7 and Figure 8 indicate facilities which will be removed when development works are undertaken. For this area located north of Lyttleton Street footpaths, basketball and sandpit facilities will be removed permanently.





**Figure 8 – Photo of existing community infrastructure within the pipeline easement**

#### Vegetation

The entire section of proposed pipeline works would require the removal of the avenue of established trees in Figures 8 and 9. East of Ritchie Drive is existing remnant vegetation, while the section through the Palm Beach Structure Plan includes trees planted by a former developer. The paperbark trees in Figure 9 will be required to be removed to facilitate the duplicate pipeline.



**Figure 9 – Paperbark trees within the pipeline easement**

These avenues of trees are asset to the local community, improve residential amenity and provide a habitat for birds. The Water Corporation will be required to reinstate any trees it removes to the City's satisfaction, prior to the prior to the pipeline becoming operational.

## Traffic

To facilitate the proposed works, road closures and traffic diversions are required for each of the three stages, as summarised below:-

Stage 1: Temporary closure and diversion of Ritchie Drive, Bay View Street, Fisher Street and Safety Bay Road.

Stage 2: Temporary closure and diversion at Memorial Drive.

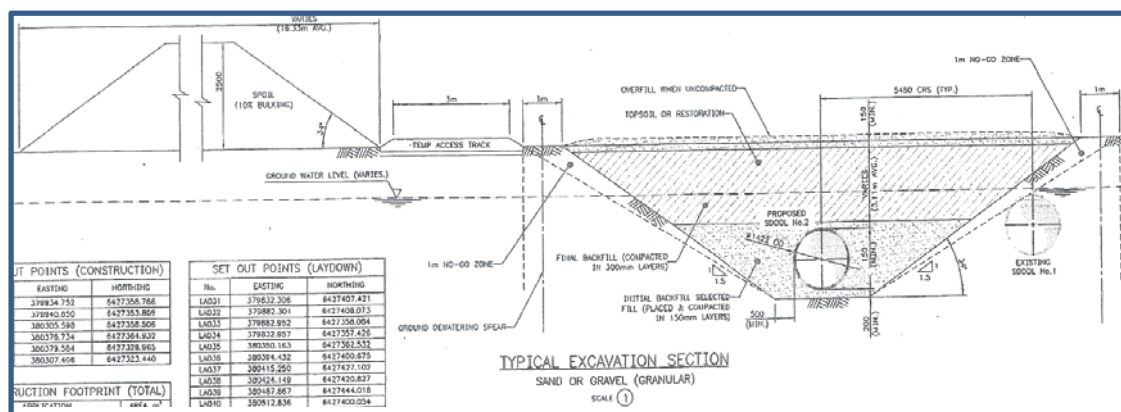
Stage 3: Temporary road closure and diversion at Point Peron Road.

Temporary road closures will be managed in accordance with a Traffic Management Plan submitted to and approved by the City. This must include the reinstatement of road pavement and associated works. It is recommended that a condition of planning approval includes the preparation of a Traffic Management Plan.

## Trenching

Figure 10 below indicates a typical excavation cross section for the duplicate pipeline, with approximately a 12 metre wide trench. In addition to the 12 metre wide trench, an access track (3 metres) and soil stockpile (average width of 16.33 metres) are required to service the development. This results in a total width of approximately 26 metres, while pipeline corridor is approximately 20 metres in width. The trenching method proposed is one which will impact on the community and the reserve areas significantly over the course of the site works. The City considers that alternative, less intrusive trenching methods including shoring and sheet piling should be used for areas of the pipeline which feature existing vegetation and/or infrastructure.

There will also be a requirement for the trench to be dewatered to allow for the development to occur. While the City has no objection to dewatering practices, a Dewatering Management Plan is required. It is recommended that a condition of planning approval includes the preparation of a Dewatering Management Plan.



**Figure 10 – Typical trench cross-section**

## Noise and Dust

The proposed works have the potential to create noise and dust impacts through the use of machinery and excavation, to nearby residents. It is recommended that a Dust and Noise Management Plan be prepared prior and implemented for the commencement of works.

### Community Impact

The pipeline reserve runs through established residential area and abuts footpaths and areas of Public Open Space which are utilised by members of the local community. The safety of nearby residents and users of Public Open Space areas must be protected from the proposed works at all times. To achieve this, it is recommended that a Safety Management Plan be prepared.

### **Conclusion:**

The planning assessment of the proposal does not raise any major concerns with the proposed development. It is recommended that the application be approved subject to the conditions identified in the Recommendation which pertain to the management of impacts on infrastructure and amenity by works required to install the pipeline.



SCALE: DIACHRONIC

SITE OF WORKS  
(REFER SITE INDEX PLAN)

PROPOSED WASTEWATER PRESSURE MAIN  
(PARALLEL TO EXISTING DRI400 WW PM BY 5.5m NOMINAL)  
(RITCHIE DR TO CAPE PERON ONSHORE LAND PIPELINE)

PROPOSED WASTEWATER PRESSURE MAIN  
(RITCHIE DR TO CAPE PERON ONSHORE LAND PIPELINE)  
SUBJECT TO CHANGE AS AT TIME OF DESIGN -  
BASED ON ASSUMED LOCATION OF EXISTING WW PM

EXISTING DRI400 WASTEWATER PRESSURE MAIN  
(WOODMAN POINT WWTP EFFLUENT PS TO  
CAPE PERON ONSHORE LAND PIPELINE)

87-21

× TYPICAL SECTION VALVE

TYPICAL DRAWING REFERENCE

INDIAN OCEAN

25/07/2012 15:39

## SITE INDEX PLAN

DRAFT

**PRELIMINARY ONLY**  
NOT TO BE USED FOR CONSTRUCTION

REFERENCE DRAWINGS  
PRESSURE MAIN DUPLICATION - RITCHE DR TO POINT PERON WWTP  
DEVELOPMENT APPLICATION  
18174-87-21 TO 87-24 PIPELINE RESERVE WORKS - SHEETS 1 TO 4

[illegible]





PART PLAN



PART PLAN

PROPOSED  
WASTEWATER PRESSURE MAIN  
IN TRENCH

BOTTOM OF TRENCH

TOP OF TRENCH

— PIPELINE RESERVE

EXISTING DN1400 WASTEWATER PRESSURE MAIN  
(WOODMAN POINT WWTFF EFFLUENT PS. TO  
CAPE PERON ONSHORE LAND PIPELINE)  
----- CADASTRAL BOUNDARY

DRAFT

**PRELIMINARY ONLY**  
NOT TO BE USED FOR CONSTRUCTION

REFERENCE DRAWING  
PRESSURE MAIN DUPLICATION - RITCHIE DR TO POINT PERON WWTP  
18174-87-20 DEVELOPMENT APPLICATION - LOCALITY

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ISSUE	DATE	CDD		REVISION	DWG	REV	APPD				

**INFRASTRUCTURE  
DESIGN  
BRANCH**

RECOMMENDED
SENIOR ENGINEER, WNC & S
APPROVED
PRINCIPAL ENGINEER, WNC & S



METROPOLITAN WASTEWATER - WOODMAN POINT WWTP  
EFFLUENT PUMP STATION TO CAPE PERON ONSHORE LAND PIPELINE  
PRESSURE MAIN DUPLICATION - RITCHIE DR TO POINT PERON WWTP  
DEVELOPMENT APPLICATION - PIPELINE RESERVE WORKS - SHEET 1

FILE JET 2008 15001 V02 PLAN 19174-87-21 CND ISSUE PROJECT C-501487 A

COVERING,  
SMITH  
PAGE  
A1



## LEGEND

- PROPOSED WASTEWATER PRESSURE MAIN IN TRENCH  
 BOTTOM OF TRENCH  
 TOP OF TRENCH
- PIPELINE RESERVE
- EXISTING DN1400 WASTEWATER PRESSURE MAIN (WOODMAN POINT WWTP EFFLUENT PS TO CAPE PERON ONSHORE LAND PIPELINE)
- CADASTRAL BOUNDARY



PART PLAN



PART PLAN



REFERENCE DRAWING  
 PRESSURE MAIN DUBLICATION - RITCHIE DR TO POINT PERON WWTP  
 19174-87-20 DEVELOPMENT APPLICATION - LOCALITY

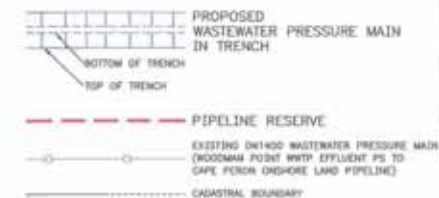
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ISSUE			DATE			GND			REVISION			SPN			REV			APPRO												CND			ISSUE		





## LEGEND



PART PLAN



PART PLAN

DRAFT

PRELIMINARY ONLY  
NOT TO BE USED FOR CONSTRUCTIONREFERENCE DRAWING  
PRESSURE MAIN DUPLICATION - RITCHIE DR TO POINT PERON WWTP  
19174-87-20 DEVELOPMENT APPLICATION - LOCALITY

1:1,000 AT A1

DESIGN SURVEY	VERTICAL DESIGN	DESIGN CALC	NORTH POINT	RECOMMENDATIONS	METROPOLITAN WASTEWATER - WOODMAN POINT WWTP	ORIGINAL SHEET SIZE
DATE	DATE	DATE	DATE	DATE	EFFLUENT PUMP STATION TO CAPE PERON ONSHORE LAND PIPELINE	A1
DESIGN SURVEY	VERTICAL DESIGN	DESIGN CALC	NORTH POINT	RECOMMENDATIONS	PRESSURE MAIN DUPLICATION - RITCHIE DR TO POINT PERON WWTP	
DATE	DATE	DATE	DATE	DATE	DEVELOPMENT APPLICATION - PIPELINE RESERVE WORKS - SHEET 3	
DESIGN SURVEY	VERTICAL DESIGN	DESIGN CALC	NORTH POINT	RECOMMENDATIONS	FILE	19174-87-23
DATE	DATE	DATE	DATE	DATE	PROJECT	A1
DESIGN SURVEY	VERTICAL DESIGN	DESIGN CALC	NORTH POINT	RECOMMENDATIONS	PROJECT	
DATE	DATE	DATE	DATE	DATE	PROJECT	



JOINS DWG. 19174-87-23



PLAN

## LEGEND



DRAFT

PRELIMINARY ONLY  
NOT TO BE USED FOR CONSTRUCTION

REFERENCE DRAWING  
PRESSURE MAIN DUPLICATION - RITCHIE DR TO POINT PERON WWTW  
19174-87-20 DEVELOPMENT APPLICATION - LOCALITY

Scale 1:1000 AT A1  
0 5 10 20 30 40 50 60 70 m

ISSUE DATE DWD REVISION DWN REC APP	DESIGN SURVEY CHD 61-250541-001 REV 8 ACCON SURVEY	VERTICAL DATUM AND COORDINATE SYS MGA84-50 DES REF DWN E WOODHEAD G.C. CHD	DES CAC D V B ACST RES CHD NORTH POINT 	<b>INFRASTRUCTURE DESIGN BRANCH</b>	REVIEWED SENIOR ENGINEER, WWC & S APPROVED PRINCIPAL ENGINEER, WWC & S		METROPOLITAN WASTEWATER - WOODMAN POINT WWTW EFFLUENT PUMP STATION TO CAPE PERON ONSHORE LAND PIPELINE PRESSURE MAIN DUPLICATION - RITCHIE DR TO POINT PERON WWTW DEVELOPMENT APPLICATION - PIPELINE RESERVE WORKS - SHEET 4 FILE J11 3008 11801 V02 PLAN PROJECT C-501487 19174-87-24 DWD ISSUE A1	ORIGINAL SHEET SIZE <b>A1</b>
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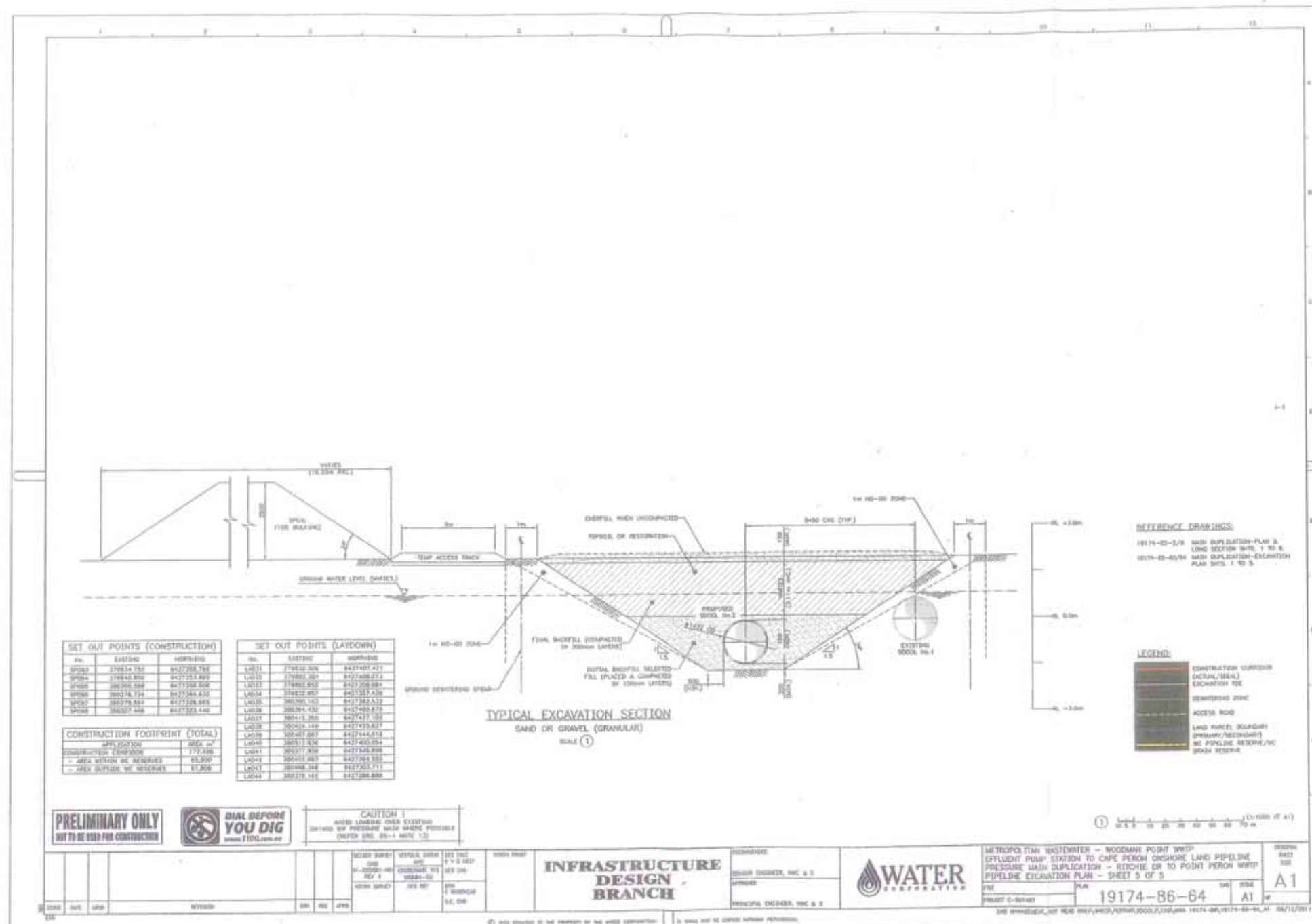




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1000	40	40	30
1500	60	35	25
2000	75	60	20
2500	80	70	20
3000	80	70	20

DATE	REV	BY	DESCRIPTION	ISS	REV	APP	DESIGN TOWN NAME PROJECT NAME ADDRESS CITY STATE ZIP	DESIGN DATE AND TIME DESIGN BY NAME-NO DES NO DES C PROJECT NO C-NO	SHEET NO OF TOTAL	<b>INFRASTRUCTURE DESIGN BRANCH</b>	PREPARED BY CHECKED BY APPROVED BY CONTRACTOR PROJECT NUMBER CONTRACTOR PROJECT LOCATION	 <b>WATER</b> CORPORATION	METROPOLITAN WASTEWATER - WOODMAN POINT WWTP EFFLUENT PS TO CAPE PEARL DOWNSIDE LAND FILL LINE PRESSURE MAIN DUPLICATION-SECTION VALVE (SCOUR) @ CHILDSON GENERAL ARRANGEMENT - SHEET 3 OF 3	DRAWING NO 101	FILE PROJECT C-NO 19174-86-48	DATE 19174-86-48	SCALE A1
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Our Ref: 20.2012.236.1 -- AD12/10668

Your Ref:

Enquiries to: Mr Regan Travers



30th November 2012

[www.rockingham.wa.gov.au](http://www.rockingham.wa.gov.au)

Secretary  
Western Australian Planning Commission  
Locked Bag 2506  
PERTH WA 6001

Att: Frances Page-Croft

Dear Ms Page-Croft

**Re: Proposed Duplication of Sewerage Main for Disposal of Treated Sewerage -  
Lot 1637 Fisher Street, Rockingham**

I refer to the above application subject to a JDAP determination received by the City on the 3rd October 2012.

The City has prepared its Responsible Authority Report on the section of the pipeline which is subject of an application for Planning Approval pursuant to clause 6.7.1(a) of *Town Planning Scheme No.2* which is to be presented to the South West Joint Development Assessment Panel (SWJDAP) on the 11th December 2012.

In accordance with clause 30 of the *Metropolitan Region Scheme* and clause 2.1.2 of the *City of Rockingham Town Planning Scheme No.2*, part of the application is exempt from requiring Planning Approval from the City.

The Commission is advised that the alignment of the duplicate pipeline adversely impacts upon the Point Peron Marina project, which is the subject of a Public Environmental Review. Subject to the release of the Environmental Protection Authorities report and recommendations and Ministerial approval for the Point Peron Marina project, it is requested that the Water Corporation review the alignment of the duplicate pipeline around the project area to allow the opportunity for the project to proceed.

The City has reviewed this application to undertake Public Works under the Metropolitan Region Scheme and recommends the application be approved subject to the following conditions:-

1. A Construction Environmental Management Plan (CEMP) must be prepared prior to commencement of works, and include the following Management Plans, to the satisfaction of the City:
  - Traffic Management Plan;
  - Dust and Noise Management Plan;
  - Dewatering Management Plan;
  - Safety Management Plan (i.e. fencing etc); and
  - Laydown and Storage Area Management Plan for works occurring outside the pipeline corridor.

The CEMP must be implemented for the duration of pipeline construction.





2. Footpaths, grass, trees and irrigation infrastructure to be reinstated by the proponent to the satisfaction of the City, prior to the pipeline becoming operational.
3. Work areas are to be fenced to the satisfaction of the City of Rockingham.
4. An Environmental Management Plan must be prepared and implemented for pipeline works within Bush Forever area, in accordance with the requirements of State of Planning Policy No. 2.8 – Bushland Policy for the Perth Metropolitan Region.
5. An Acid Sulphate Soils Self-Assessment Form and, if required as a result of the self-assessment, an Acid Sulphate Soils Report and an Acid Sulphate Soils Management Plan shall be submitted to and approved by the Department of Environment and Conservation before any site works are commenced. Where an Acid Sulphate Soils Management Plan is required to be submitted, all site works shall be carried out in accordance with the approved Management Plan.

The City also recommends the following footnotes be included on any approval:-

- a) The Water Corporation is advised that the alignment of the duplicate pipeline adversely impacts upon the Point Peron Marina project, which is the subject of a Public Environmental Review. Subject to the release of the Environmental Protection Authorities report and recommendations and Ministerial approval for the Point Peron Marina project, it is requested that the Water Corporation review the alignment of the duplicate pipeline around the project area.
- b) The City advises that Lake Richmond was entered on to the State Register of Heritage Places on an interim basis on the 6th July 2012. The State Heritage Office recently received a request to expand the registered boundary of Lake Richmond to include:
  - Part of Reserve 47553 being Lot 8006 on Plan 4034; and
  - Reserve 35176 being Lot 1513 on Plan 181012 and Lot 1597 on Plan 218621

It is recommended that the proponent give due regard to the Heritage Listing and proposed expansion, which may affect the proposed pipeline duplication.

Should you have any enquiries with respect to this advice, please do not hesitate to contact Mr Regan Travers on (08) 9528 0413.

Yours faithfully



D WALLER  
CO-ORDINATOR, STATUTORY PLANNING

cc. Allerding & Associates



## Form 1 - Responsible Authority Report (Regulation 12)

<b>Application Details:</b>	Construction of a 3.8km Duplicate Sewerage Pipeline for the Sepia Depression Ocean Outlet Landline
<b>Property Location:</b>	Lots 1637 and 1638 Fisher Street, Lot 1530 Lake Street, Rockingham, Lots 2732 and 2733 Peron Road, Peron (collectively Crown Reserve 42518)
<b>DAP Name:</b>	Metropolitan South-West Joint Development Assessment Panel
<b>Applicant:</b>	Water Corporation
<b>Owner:</b>	Water Corporation Crown Land with Management Order to Water Corporation
<b>LG Reference:</b>	City of Rockingham 20.2012.236
<b>Responsible Authority:</b>	Department of Planning
<b>Authorising Officer:</b>	Neil Fox A/Director Metropolitan South West
<b>Application No. and File No:</b>	DoP Ref 28-50151-1, DAP Ref DP12/01119
<b>Report Date:</b>	20 November 2012
<b>Application Receipt Date:</b>	10 October 2012
<b>Application Process Days:</b>	41 days
<b>Attachment(s):</b>	1. Location Plans 2. Development Plans 3. Referral Response

### Recommendation:

That the Metropolitan South-West Joint Development Assessment Panel resolves to:

**Approve** DAP Application reference DP12/01119 and accompanying plans in accordance with the provisions of the Metropolitan Region Scheme, subject to the following condition and advice note:

#### a) Condition

This decision constitutes planning approval only and is valid for a period of two years from the date of approval. If the subject development is not substantially commenced within the two year period, the approval shall lapse and be of no further effect.

#### b) Advice note

A portion of the subject land is known to have 'high to moderate risk' of acid sulfate soils occurring within three metres of the natural soil surface. It is likely that an acid sulfate management plan will be required. The landowner/applicant is advised to liaise with the Department of Environment and Conservation in relation to this matter.



**Background:**

Property Address:	Lots 1637 and 1638 Fisher Street, Lot 1530 Lake Street, Rockingham, Lots 2732 and 2733 Peron Road, Peron (collectively Crown Reserve 42518)	
Zoning/Reservation	MRS:	Urban, Other Regional Roads, Parks and Recreation (Bush Forever Site No.358 Lake Richmond and No.355 Point Peron/Shoalwater Bay)
	TPS:	Residential land zoned 'Urban' under the MRS
Pipeline Length	The approximate length of the pipeline is 3.8 kilometres	
Existing Land Use:	Urban, Parks and Recreation	
Value of Development:	\$19.97 million	

The Sepia Depression Ocean Outlet Landline (SDOOL) has been in operation since 1984 and transports more than 40% of treated sewerage for the metropolitan area of Perth from Woodman Point Waste Water Treatment Plant, Kwinana Water Reclamation Plant, Jervoise Groundwater Remediation Scheme and, upon completion, the proposed East Rockingham Waste Water Treatment Plant (**Attachment 1** Location Plans).

A section of the pipeline is to be duplicated as the existing pipeline is in poor condition and needs to be upgraded. A duplicate pipeline is required as the system cannot be shut down whilst the upgrades are undertaken. The duplicate will ensure a functioning pipeline operates at all times. The existing pipeline is to be retained.

Water Corporation (WC) has engaged the local community regarding this project in particular facilitating a workshop in 2009. This workshop identified a preferred pipeline route from four options. The application as submitted reflects this preferred route.

In February 2012 the Commonwealth Department of Sustainability, Environment, Water, Population and Communities (DSEWPC) considered the proposal in relation to the proximity of Lake Richmond. DSEWPC determined that this was 'not a controlled action' and that no further assessment and approval under the Environment Protection and Biodiversity Conservation Act 1999 is required.

In May 2012 the Environment Protection Authority (EPA) determined that formal assessment of the proposal is not required and advice was given in relation to dewatering and clearing of native vegetation.

The State Government have announced that construction of the duplicate pipeline is proposed to commence in 2013/2014 and is scheduled to be operational by mid 2015.

## **Details: outline of development application (Attachment 2 - Development Plans)**

The proposal comprises the following:

- Clearing of 17.8 hectares of native vegetation including 1.85 hectares of vegetation referenced by Bush Forever;
- Excavation of a trench to depth of 5 metres and between 8-11 metres wide;
- Trench to accommodate a 1.4 metre diameter, 3.8 kilometre long concrete and steel duplicate sewerage pipe;
- This wholly underground duplicate pipeline to be 5.4 metres from the existing pipeline; and
- Temporary storage areas during construction.

### **Legislation & policy:**

#### Legislation

Planning and Development Act 2005

Metropolitan Region Scheme 1963

#### WAPC State Planning Policy

State Planning Policy 2.8 Bushland Policy for the Perth Metropolitan Region

#### WAPC Development Control Policies

Development Control Policy 5.3 - Use of Land Reserved for Parks and Recreation and Regional Open Space

### **Consultation:**

#### Department of Environment and Conservation (DEC)

DEC has previously provided advice to the EPA and has liaised with the WC. In this context DEC raises no objection and provides advice and comments in relation to:

- flora and fauna management;
- native vegetation clearing;
- revegetation and offsets;
- wetland management/dewatering;
- acid sulfate soil management; and
- aboriginal heritage.

The full DEC comments are provided in **Attachment 3 - Referral Response**.

### **Planning assessment:**

The proposed development would ordinarily require the determination of the WAPC under the Metropolitan Region Scheme (MRS) by virtue of the application of Clause 16 in that the proposal is not permitted development on reserved land owned by a

public authority as it involves the clearing of regionally significant vegetation on sites specified as Bush Forever.

Clause 30 (1) of the MRS sets out the following factors when determining a development application:-

1. the purpose for which the land is zoned or reserved under the Scheme;
2. the orderly and proper planning of the locality; and
3. the preservation of amenities of the locality.

Assessment against Clause 30 (1) is informed by the following:

- Whilst the proposed development is not consistent with the subject land's reservation of 'Parks and Recreation' under the MRS, the proposal is a major piece of essential public infrastructure which will duplicate the existing infrastructure. DC 5.3 Use of Land Reserved for Parks and Recreation and Regional Open Space acknowledges that the use and development of land reserved for Parks and Recreation or Regional Open Space for commercial purposes ancillary and or compatible to the purpose of the reserve may be supported. The proposed pipeline is compatible with the reservation.
- The Crown reserve has a management order for the purpose of 'Sewerage Main' and therefore the development is entirely consistent with the Crown reserve purpose.
- Mangles Bay Marina Based Tourist Precinct Project

In 2009 Cabinet approved in principle the development of a marina based tourist development in the Mangles Bay area. In 2010 LandCorp with the approval of the Ministers for Lands and Planning appointed Cedar Woods Properties Limited as its private sector partner to secure the necessary environmental and planning approvals. Cedar Woods has progressed the environmental approvals with a final environmental decision expected in March 2013. Statutory planning approvals are yet to be progressed.

The development proposal traverses the Mangles Bay project area. The alignment of the pipeline may need to be relocated as planning progresses for the project or alternatively the marina design modified. At this point in time the pipeline is to be located within the existing Crown reserve.

There is agreement that further negotiations will be undertaken with the proponents and relevant Ministers to conclude on the final alignment of the pipeline subsequent to the determination of this application.

- Bush Forever Site No.s 355 and 358

The application site includes a portion of the Bush Forever Sites No.355 and 358. An area of 1.85 hectares of Bush Forever vegetation is to be cleared.

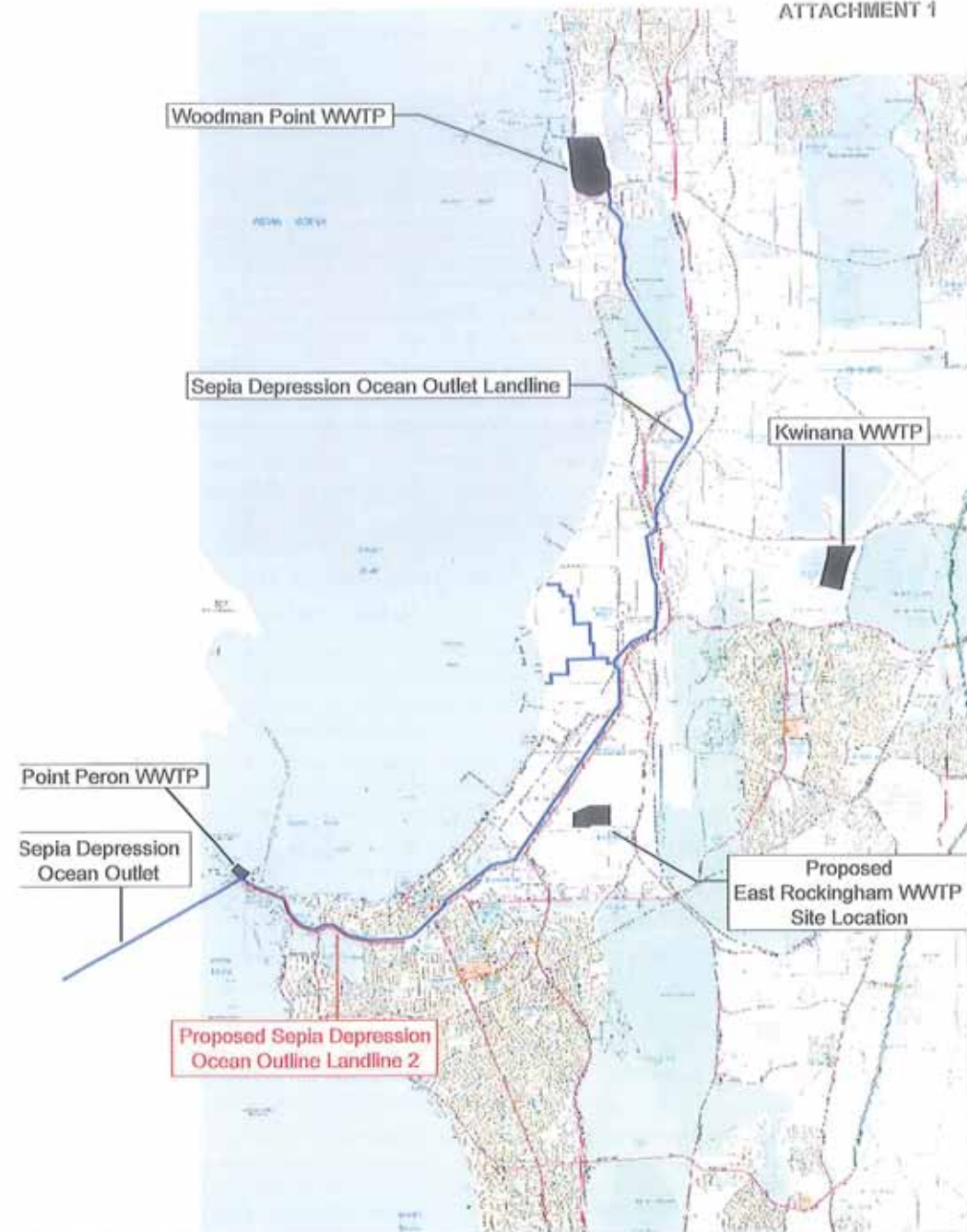
Pursuant to State Planning Policy 2.8 Bushland Policy for the Perth Metropolitan Region the clearing of native vegetation cannot proceed unless authorised by an appropriate DEC clearing permit irrespective of the issue of development approval. WC has a state wide clearing permit ref CPS 185/3.

Under the provisions of the clearing permit WC are required to consult further with DEC. It is understood that the WC have provided DEC with a Preliminary Construction Environmental Management Plan (PCEMP) dated December 2011 and are continuing to consult with DEC.

Clearing and revegetation will be undertaken in accordance with the state wide clearing permit in consultation with affected stakeholders such as DEC and the City of Rockingham. The proposal is consistent with the objectives of State Planning Policy 2.8 Bushland Policy for the Perth Metropolitan Region in that the development will result in a reasonable balance between conservation and development.

**Conclusion:**

The proposed development is consistent with the planning framework for the area. Conditional approval is recommended.



# LOCATION PLAN

SCALE: 1:100 000  
ORIGINAL PLAN SIZE: A4

JOB CODE:  
WAW SDO AP

DATE:  
08.08.2012



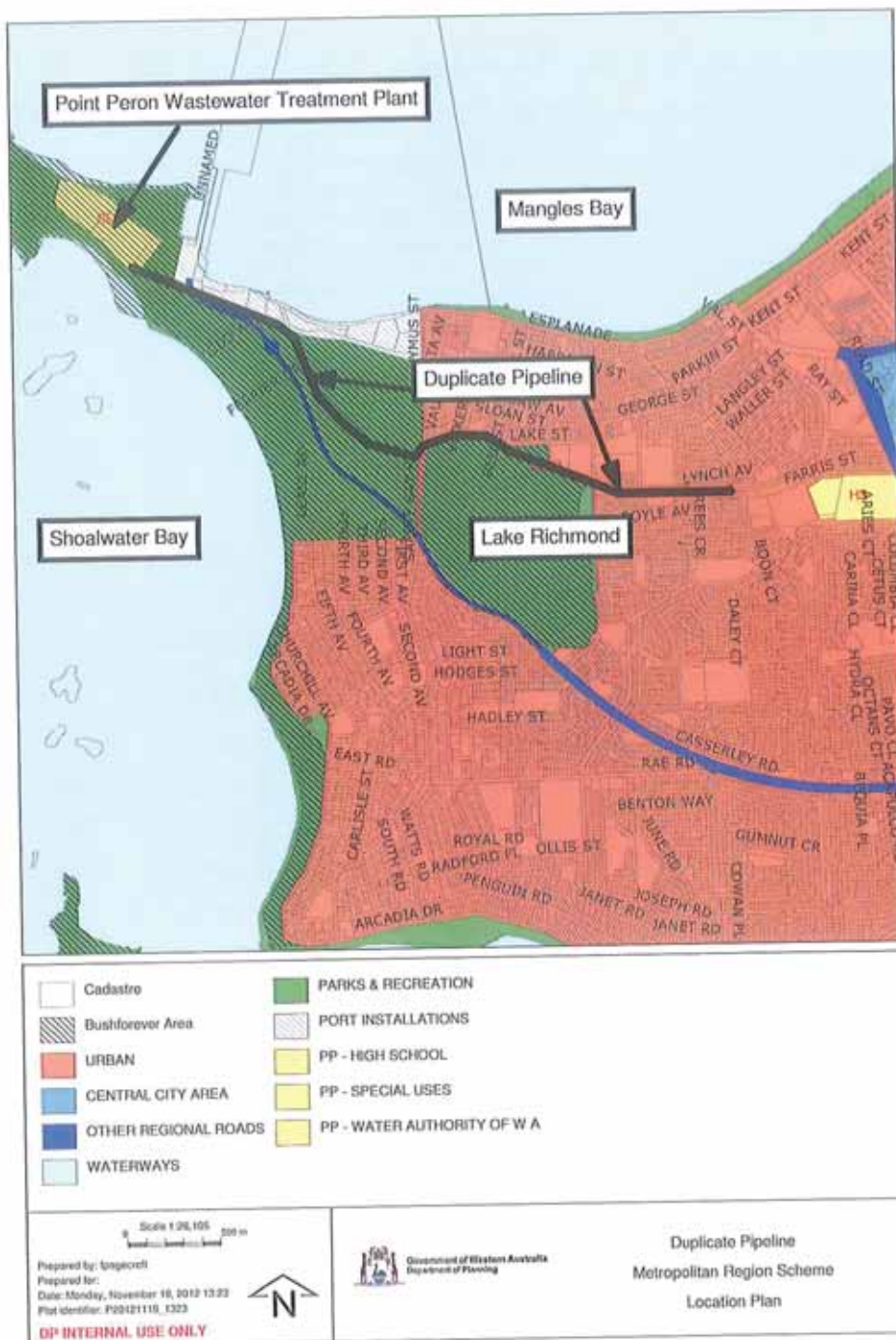
**Allerding  
Associates**  
Town Planners, Advocates  
and Subdivision Designers

115 Yarmouth Road, Rockingham WA 6068  
T: 08 9412 8000 F: 08 9412 8001 W: allerding.com.au

SEPIA DEPRESSION OCEAN OUTLET LANDLINE  
CAPE PERON TO WOODMAN POINT

CITY OF ROCKINGHAM

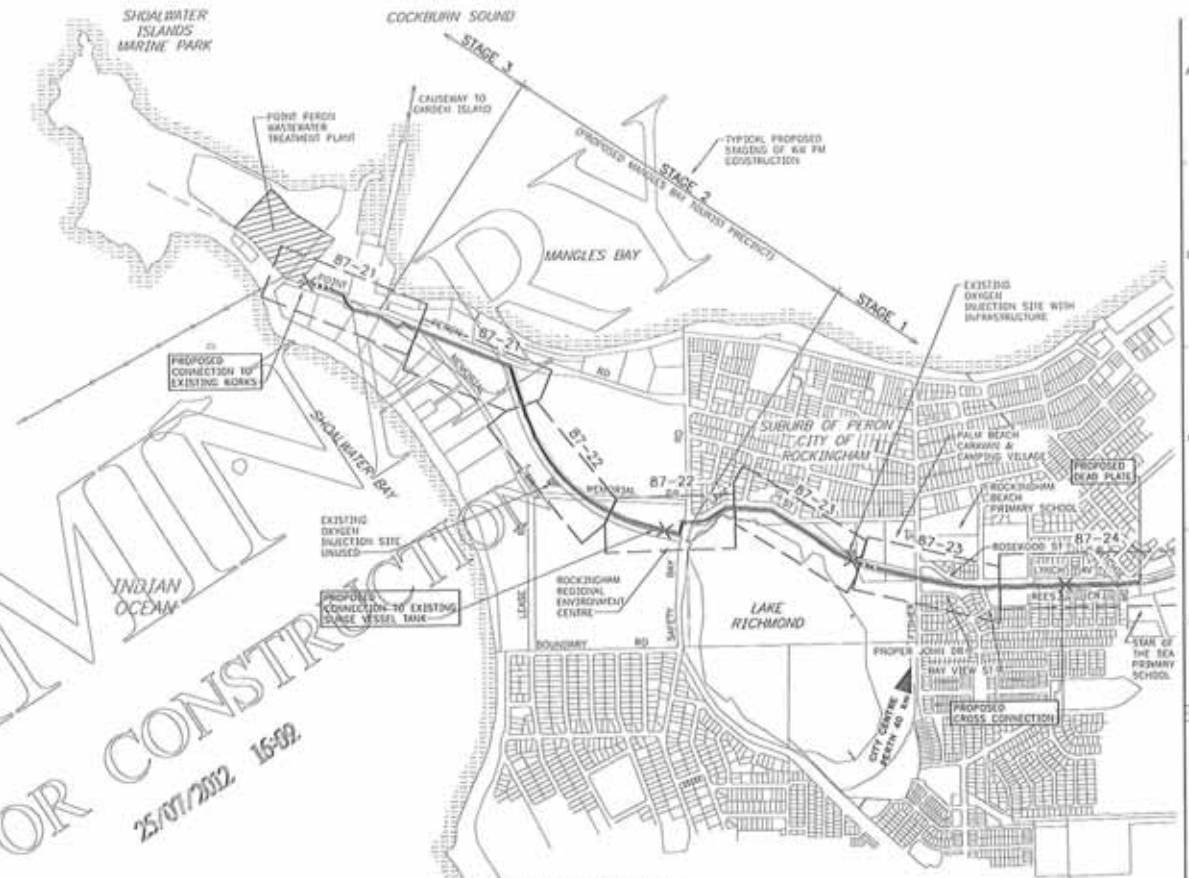






LOCALITY PLAN  
SCALE: DIAGNOSTIC

SITE OF WORKS  
(REFER SITE INDEX PLAN)



SITE INDEX PLAN

LEGEND

- PROPOSED WASTEWATER PRESSURE MAIN  
(PARALLEL TO EXISTING DITCHES, 8W 10M BY 0.5m FORMAL)  
(RITCHIE DR TO CAPE PERON ONSHORE LAND PIPELINE)
- - - PROPOSED WASTEWATER PRESSURE MAIN  
(RITCHIE DR TO CAPE PERON ONSHORE LAND PIPELINE)  
SUBJECT TO CHANGE AS AT TIME OF DESIGN -  
BASED ON ASSUMED LOCATION OF EXISTING WW PM
- EXISTING 200/400 WASTEWATER PRESSURE MAIN  
(WOODMAN POINT WWP EFFLUENT PS TO  
CAPE PERON ONSHORE LAND PIPELINE)
- × TYPICAL SECTION MARK
- 87-21 TYPICAL DRAWING REFERENCE

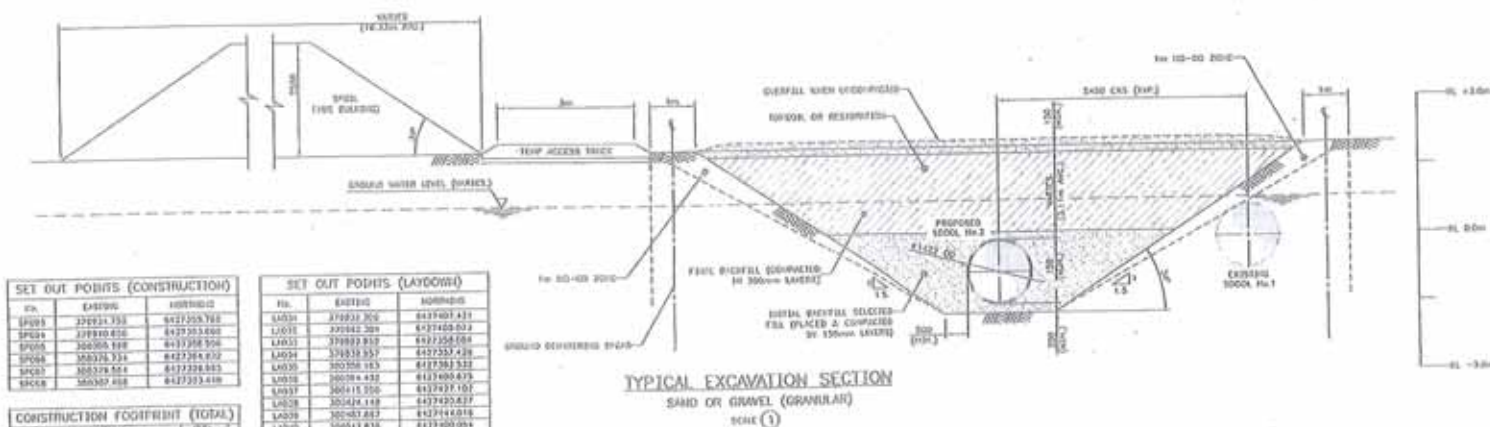
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REFERENCE DRAWINGS  
PRESSURE MAIN DUPLICATION - RITCHIE DR TO POINT PERON WWP  
DEVELOPMENT APPLICATION  
19174-87-21 TO 87-24 PIPELINE RESERVE WORKS - SHEETS 1 TO 4

1:10000 AT A1  
100 200 300 400 500 600 700 m

<div> <div>ISSUE</div> <div>DATE</div> <div>USER</div> <div>REVISION</div> <div>ENR</div> <div>REC</div> <div>APPRO</div> </div>	<div> <div>DESIGN SURVEY</div> <div>NOTE</div> <div>VERTICAL CURVE</div> <div>NOTE</div> <div>COORDINATE SYS</div> <div>MAPS-50</div> <div>DES REF</div> </div>	<div> <div>DES DATE</div> <div>BY V &amp; S</div> <div>DES END</div> <div>DES F</div> <div>RECCUR</div> <div>GE. CH</div> </div>	<div> <div>NORTH POINT</div> <div> </div> </div>	<div> <div>INFRASTRUCTURE</div> <div>DESIGN</div> <div>BRANCH</div> </div>	<div> <div>DESIGNED</div> <div>SENIOR ENGINEER, WAC &amp; S</div> <div>APPROVED</div> <div>PRINCIPAL ENGINEER, WAC &amp; S</div> </div>	<div> <div> </div> </div>	<div> <div> <div>METROPOLITAN WASTEWATER - WOODMAN POINT WWP</div> <div>EFFLUENT PUMP STATION TO CAPE PERON ONSHORE LAND PIPELINE</div> <div>PRESSURE MAIN DUPLICATION - RITCHIE DR TO POINT PERON WWP</div> <div>DEVELOPMENT APPLICATION - LOCALITY</div> </div> <div> <div>FILE</div> <div>J11 2008 11001 102</div> <div>FILE</div> <div>PROJECT E-501487</div> </div> <div> <div>19174-87-20</div> <div>CRD</div> <div>ISSUE</div> <div>A1</div> </div> <div> <div> </div> </div> </div>
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## REFERENCE DRAWINGS:

19174-85-1/2 SHIP DUBLICATION-PLAN &  
LONG SECTION SHIP 1 TO 8  
19174-85-65/64 SHIP DUBLICATION-EXCAVATION  
PLAN SHIP 1 TO 5

## LEGEND:

CONSTRUCTION CORRIDOR  
(EXCAVATION)  
EXCAVATION FILL  
BENCHING SOIL  
ACCESS ROAD  
LAND FILL BENCHING  
(PROPOSED/EXISTING)  
NO PIPELINE RECONSTRUCTION  
GRADE RESERVE

SET OUT POINTS (CONSTRUCTION)		
STA	EASTING	NORTHING
SP001	329234.153	6427255.761
SP002	329234.153	6427255.761
SP003	329234.153	6427255.761
SP004	329234.153	6427255.761
SP005	329234.153	6427255.761
SP006	329234.153	6427255.761
SP007	329234.153	6427255.761
SP008	329234.153	6427255.761
SP009	329234.153	6427255.761
SP010	329234.153	6427255.761

SET OUT POINTS (LAYOUT)		
STA	EASTING	NORTHING
LA001	329234.153	6427255.761
LA002	329234.153	6427255.761
LA003	329234.153	6427255.761
LA004	329234.153	6427255.761
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LA045	329234.153	6427255.761
LA046	329234.153	6427255.761
LA047	329234.153	6427255.761
LA048	329234.153	6427255.761
LA049	329234.153	6427255.761
LA050	329234.153	6427255.761

CONSTRUCTION FOOTPRINT (TOTAL)	
AREA	AREA
CONSTRUCTION CORRIDOR	177.488
- AREA WITHIN THE RESERVE	85.000
- AREA OUTSIDE THE RESERVE	92.488

**PRELIMINARY ONLY**  
NOT TO BE USED FOR CONSTRUCTION



**CAUTION 1**  
ALWAYS WEAR YOUR SAFETY GEAR  
BEFORE YOU START WORK  
EXCEPT FOR THE FIRST 15 MINUTES

**INFRASTRUCTURE  
DESIGN  
BRANCH**



METROPOLITAN WASTEWATER - WOODMAN POINT WTP  
DYLCHOUT PUMP STATION TO CAPE PERON DRYSHORE LAND PIPELINE  
PRESSURE MAIN DUBLICATION - RICHIE DR TO POINT PERON WTP  
PIPELINE EXCAVATION PLAN - SHEET 5 OF 5

PROJECT C-58447  
19174-86-64  
A1

02/12/2011

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**PRELIMINARY ONLY**  
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WATER  
CORPORATION

METROPOLITAN WATERWORKS - WOODMAN POINT TRUMP EFFLUENT PS  
TO CAFE PERROS OFFSHORE LAID PIPELINE  
PRESSURE MAIN DUPLICATION-SECTION VALVE (SCHEM) @ 120.270m  
GENERAL ARRANGEMENT - SHEET 3 OF 3

1982

19174-86-48

UNION PS  
UNION PS

Q4	Unit
	A1

[illegible]





Government of Western Australia  
Department of Environment and Conservation

Your ref: 28-50151-1  
Our ref: 2000/005115-B  
Enquiries: Grace Petroni  
Phone: 0210 0290  
Fax: 0210 0299  
Email: grace.petroni@dec.wa.gov.au

Secretary  
Western Australian Planning Commission  
Locked Bag 2506  
PERTH WA 6001

Attention: Ms Francis Page-Croft



Dear Ms Page-Croft

**WAPC APPLICATION NO: 28-50151-1 – FISHER STREET, ROCKINGHAM**

I refer to your letter dated 19 October 2012 referring the above development application, for the Water Corporation's proposal to duplicate a 3.8 km section of the 24 km long Sepia Depression Ocean Outlet Landline (SDOOL 2) in the vicinity of Lake Richmond terminating at the Cape Peron outfall, to the Department of Environment and Conservation (DEC) for comment.

**Background**

DEC understands the disturbance footprint for SDOOL 2 (the subject land) crosses various reserves, infrastructure corridors and easements, and land vested in the Conservation Commission of Western Australia (Conservation Commission) and in the City of Rockingham. The disturbance footprint is located within the existing infrastructure corridor for the placement of the pipe and outside of the corridor for provision of temporary construction service areas (for example compounds, stockpiles and pipe lay down). A portion of the subject land is within areas that form part of Rockingham Lakes Regional Park and Bush Forever Sites No.355 – *Point Peron and Adjacent Bushland, Peron/Shoalwater Bay* and No. 358 – *Lake Richmond, Rockingham*.

DEC has previously provided advice to the Office of the Environmental Protection Authority (OEPA) in a letter dated 27 March 2012 and has liaised directly with the Water Corporation in relation to potential impacts to land vested with the Conservation Commission. In this context, DEC provides the following comments, which the proponent should be made aware of and provided a copy for their information.

**Flora and fauna management**

A portion of the subject land is located adjacent to [and within the buffer of] two recorded threatened ecological communities (TECs) at Lake Richmond namely, SCP 19: *Sedgeland in Holocene dune swales of the Swan Coastal Plain* and Rich 02: *Richmond-microbial; thrombolite community of coastal freshwater lakes*; and located in the buffer of a TEC on Part Lot 500 (Reserve 48968) namely, SCP 30a: *Callitris preissii (or Melaleuca lanceolata) forests and woodlands*.

Regional Parks Unit  
Swan Region

7 Turner Avenue, Bentley

Phone: (08) 9210 9200 Fax: (08) 9210 9290

Postal Address: PO Box 1167, Bentley DC, Western Australia 6003

A luart survey (Massenbauer 2010) undertaken for the Water Corporation identified 205 luart trees within SDOOL 2 survey corridor (20m either side of the SDOOL 2 route), of which approximately 30% of the trees surveyed had a diameter at breast height (DBH) of greater than 50cm; therefore considered to be suitable DBH to develop a nest hollow or potential breeding habitat. The Water Corporation has outlined that 46 of the 205 luart trees will be required to be cleared. However, there is no information as to whether any of the 46 trees are potential breeding habitat trees. The *EPBC Act Guidelines for the three threatened cockatoo species* (Department of Sustainability, Environment, Water, Population and Communities 2012) identifies tuarts as suitable breeding habitat for Carnaby's cockatoos and outlines that "In a woodland stand with trees of a suitable diameter at breast height, all trees of all ages and size are potentially important for maintaining breeding in the long term through maintaining integrity of the habitat and allowing for recruitment of trees to provide future nest hollows." (p 13) DEC recommends that the clearing of potential breeding habitat be avoided or minimised.

DEC notes from the Water Corporation's Preliminary Construction Environmental Management Plan (PCEMP) dated December 2011 that "they [TECs] will not be impacted by clearing activities associated with SDOOL 2...Potential impacts on flora and vegetation resulting from construction can include clearing, disturbance and the spreading of weeds and/or diseases...Management and mitigation measures to minimise environmental impacts to flora and vegetation during construction activities are presented in the Flora and Vegetation management plan...Potential impacts on fauna resulting from construction can include loss of habitat for native fauna species and disturbance and mortality to native fauna species...Management and mitigation measures to minimise environmental impacts to fauna during construction activities are presented in the FMP [fauna management plan]." (pp.19-21)

In order to protect the conservation values of the regional park, the proponent should take steps to minimise the risk of the introduction and spread of weeds and diseases by cleaning earth-moving machinery of soil and vegetation prior to entering and leaving the subject land; and ensuring no weed or disease affected soil or fill is brought onto the subject land.

In relation to fauna management, please be aware that no fauna are to be impacted (taken/relocated) unless a DEC fauna licence issued pursuant to Regulation 15 of the *Wildlife Conservation Regulations 1970* has been obtained. For further information on this matter please contact DEC's Wildlife Licensing Section on telephone (08) 9423 2434.

The Water Corporation has identified that the construction of SDOOL 2 will require no more than 17.8 hectares of native vegetation to be cleared, including the temporary clearing of 1.82 hectares of native vegetation within land vested with the Conservation Commission (Reserve 48968) that forms part of Rockingham Lakes Regional Park. DEC reiterates the OEPA's advice in the letter dated 14 May 2012 "Planning should be undertaken by the Water Corporation to avoid disturbance of the threatened ecological communities at Cape Peron, as well as limited impacts on important habitat for the Graceful sun-moth and Carnaby's black cockatoo, listed under Schedule 1 of the Wildlife Conservation (Specially Protected Fauna) Notice 2012...The EPA notes that the Water Corporation has a state-wide clearing permit under the provisions of the *Environmental Protection (Clearing of Native Vegetation) Regulations 2004*, and that further consultation will be required with the Department of Environment and Conservation regarding clearing required for this proposal...It should be noted that clearing cannot be undertaken until the clearing permit application process is concluded."

For further information on the clearing permit process, please contact DEC's Native Vegetation Conservation Branch on telephone (08) 9219 8744.

The Conservation Commission is currently considering endorsement of the clearing of 1.82 hectares native vegetation from Crown Reserve 48968, subject to adequate measures to minimise and mitigate environmental impacts to Rockingham Lakes Regional Park. The authorisation from the Conservation Commission shall be subject to the completion of the clearing permit requirements, including the requirement for the revegetation of temporarily cleared areas, and an environmental offset to be negotiated between the proponent and DEC's Regional Parks Unit to provide a net conservation benefit to the regional park.

#### **Wetland management/dewatering**

A portion of the subject land is adjacent to [and within the buffer of] Lake Richmond, which forms part of Rockingham Lakes Regional Park and is managed by the City of Rockingham for conservation purposes. Lake Richmond is mapped as a Conservation category wetland (CCW) as identified in DEC's *Geomorphic Wetlands Swan Coastal Plain dataset*. CCWs are wetlands that support a high level of ecological attributes and functions, and are the highest priority for protection. The EPA recommends that all CCWs and their buffers are fully protected. The subject land also contains a portion of the lake registered under the *Environmental Protection Swan Coastal Plain Lakes Policy 1992* (EPP Lakes Policy).

DEC notes from the Water Corporation's PCEMP that "With the environmentally sensitive Lake Richmond located within close proximity to the proposed SDOOL 2 construction corridor, management of the local resources during construction will be required to ensure minimal impacts such as groundwater drawdown, disturbance of the groundwater/lake dependent flora, salt water intrusion of groundwater and contamination from discharged water (e.g. through exposure of ASS or iron precipitation)...Management and mitigation measures to minimise environmental harm to local water resource are presented in the Water Management Plan (WMP), which addresses management of water resources and dewatering." (p 17)

DEC reiterates the OEPA's advice "The EPA notes the Water Corporation proposes to minimise any potential short term impacts of dewatering on the surrounding environment through the direct recharge of dewatering water back into the construction trench. It also notes that the Water Corporation may install the pipeline on two construction fronts, however, dewatering will only be required in one location at any one time...It is recommended that construction work occur in the winter months when rainfall is more reliable and the Lake Richmond water level is maintained by surface and groundwater flow."

#### **Acid sulfate soil management**

DEC records show a portion of the subject land as having a known "high to moderate" risk of acid sulfate soils occurring within three metres of the natural soil surface or deeper. Therefore it is likely an acid sulfate soils management plan [ASSMP] will be required. DEC notes from the Water Corporation's PCEMP that "a DEC approved ASSMP has not yet been obtained." (p 15)

#### **Aboriginal heritage**

Lake Richmond is a registered Aboriginal heritage site; other registered Aboriginal heritage sites are also recorded in areas surrounding the subject land. It is the responsibility of the proponent to ensure that no Aboriginal sites of significance are damaged, altered or destroyed, and to liaise with the Department of Indigenous Affairs regarding their obligations under the *Aboriginal Heritage Act 1972*. DEC notes from the Water Corporation's PCEMP that "the Water Corporation undertook an archaeological survey in 2010 and following this, sort approval to

disturb these sites from the DIA through an s18 approval. An s18 approval to disturb these sites was issued on 9 August 2011." (p 28)

Should you require further information or clarification regarding the above advice, please contact Planning Officer, Grace Patonili of this office on telephone number 9219 9290.

Yours sincerely

A handwritten signature in blue ink, appearing to read "R. Evans".

Renee Evans  
A/Manager, Regional Parks Unit

9 November 2012